

REGIONAL DISTRICT
OF BULKLEY NECHAKO

AGENDA

MEETING NO. 1

JANUARY 27, 2022

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"A WORLD OF OPPORTUNITIES
WITHIN OUR REGION"

VISION

“A World of Opportunities
Within Our Region”

MISSION

“We Will Foster Social,
Environmental, and
Economic Opportunities
Within Our Diverse Region Through Effective
Leadership”



REGIONAL DISTRICT OF BULKLEY-NECHAKO

AGENDA

Thursday, January 27, 2022

First Nations Acknowledgement

<u>PAGE NO.</u>	<u>CALL TO ORDER</u>	<u>ACTION</u>
	<u>AGENDA – January 27, 2022</u>	Approve
	<u>SUPPLEMENTARY AGENDA</u>	Receive
	<u>MINUTES</u>	
7- 18	Board Meeting Minutes – December 16, 2021	Approve
19-21	Committee of the Whole Meeting Minutes - January 13, 2022	Receive
22-27	Natural Resources Committee Meeting Minutes - January 13, 2022	Receive
28-31	Rural/Agriculture Committee Meeting Minutes - January 13, 2022	Receive
32-35	Waste Management Committee Meeting Minutes -January 13, 2022	Receive

DELEGATIONS

ENBRIDGE

Graham Genge, Sr. Community and Indigenous Engagement Advisor
Emma Shea, Sr. Community and Indigenous Engagement Advisor
RE: Westcoast Connector Gas Transmission Project Overview

TAYLOR BACHRACH, MP, SKEENA BULKLEY VALLEY

RE: Update

M'AKOLA DEVELOPMENT SERVICES

Sandy Mackay, Housing Research & Policy Lead
RE: Housing Needs Report Project

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<u>PAGE NO.</u>	<u>ELECTORAL AREA PLANNING (All Directors)</u>	<u>ACTION</u>
	<u>Bylaw for 1st and 2nd Reading</u>	
36-45	Danielle Patterson, Senior Planner Rezoning Application RZ A-09-21 1st and 2nd Reading Rezoning Bylaw No.1969 Electoral Area "A"	Recommendation
	<u>Temporary Use Permit</u>	
46-60	Danielle Patterson, Senior Planner Temporary Use Permit TUP A-01-21 Electoral Area "A"	Recommendation
	<u>DEVELOPMENT SERVICES (All Directors)</u>	
	<u>ALR Application</u>	
61-84	Jason Llewellyn, Director of Planning Subdivision in the ALR Application No.1234 Electoral Area "A"	Recommendation
	<u>Referral</u>	
85-89	Danielle Patterson, Planner Village of Telkwa Referral for Official Community Plan (OCP) Amendment Bylaw 746, 2022 and New Zoning Bylaw No. 747, 2022	Recommendation
90-92	Lindsay King, Planner Mines Application Referral No. 139611557-006 Electoral Area "D"	Recommendation
93-94	Lindsay King, Planner Crown Land Application Referral No. 7410220 Electoral Area "D"	Recommendation
	<u>Other</u>	
95-96	Maria Sandberg, Parks and Planning Coordinator Electoral Area Housing Needs Reports	Recommendation
97-109	2021 Planning Department Year End Report	Receive
110-117	Jason Llewellyn, Director of Planning - Bulkley Nechako Transit Service Summary Report	Receive

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<u>PAGE NO.</u>	<u>ADMINISTRATION REPORTS</u>	<u>ACTION</u>
118-119	Wendy Wainwright, Executive Assistant Committee Meeting Recommendations - December 16, 2021 and January 13, 2022	Recommendation
120-154	John Illes, Chief Financial Officer - Budget Bylaw – Five Year Financial Plan (2022-2026)	Recommendation
155-157	Cheryl Anderson, Director of Corporate Services - Cluculz Lake Fire Protection Service Reserve Bylaw No. 1967, 2021	Recommendation
158-160	Cheryl Anderson, Director of Corporate Services - Smithers Rural Recreation and Culture Service Area Amendment Bylaw No. 1968, 2021	Recommendation
161	Nellie Davis, Manager of Regional Economic Development – Northern Development - Nechako Valley Sporting Association Application	Recommendation
162	Shari Janzen, Economic Development Assistant - Northern Development Stuart Lake Nordic Society Application	Recommendation
163	Deborah Jones-Middleton, Director of Protective Services – Pre-Approval of the 2022 Fort Fraser Rural Fire Protection Service Budget to Purchase Two Fire Apparatus	Recommendation
164-169	Jason Blackwell, Regional Fire Chief - Smithers Rural Fire Protection and Recreation and Culture Agreement – January 1, 2022 to December 31, 2026	Recommendation
170-175	Jason Blackwell, Regional Fire Chief - Sunset Beach Service Agreement	Recommendation
176-177	Wendy Wainwright, Executive Assistant - Letter to Recycle BC	Recommendation
178-180	Taddea Kunkel, First Nations Liaison - Truth and Reconciliation Calls to Action	Receive
181-183	Michelle Roberge, Regional Agriculture Coordinator – Growing Opportunities Newsletter Update	Receive

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<u>PAGE NO.</u>	<u>CORRESPONDENCE</u>	<u>ACTION</u>
184-185	Ministry of Transportation and Infrastructure - UBCM Meeting 2021	Receive
186	Ministry of Transportation and Infrastructure - Lloyd Drive Intersection	Receive
187-191	Enbridge – Westcoast Connector Gas Transmission Project Certificate Condition Plans and Upcoming Engagement	Receive

VERBAL REPORTS AND COMMITTEE CHAIR REPORTS

RECEIPT OF VERBAL REPORTS

SUPPLEMENTARY AGENDA

NEW BUSINESS

IN-CAMERA MOTION

In accordance with Section 90 of the *Community Charter*, it is the opinion of the Board of Directors that matters pertaining to Sections 90(1)(c) labour relations or other employee relations, 90(2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party (Northwest Resource Benefits Alliance and Proposed Boundary Expansion) may be closed to the public therefore exercise their option of excluding the public for this meeting.

ADJOURNMENT

REGIONAL DISTRICT OF BULKLEY-NECHAKO**MEETING NO. 15****Thursday, December 16, 2021**

PRESENT:

Chair	Gerry Thiessen
Directors	Gladys Atrill - via Zoom – left at 12:45 p.m. Shane Brienen Mark Fisher Dolores Funk Tom Greenaway Clint Lambert Linda McGuire Annette Morgan – via Zoom Bob Motion Chris Newell Mark Parker Jerry Petersen Michael Riis-Christianson Sarrah Storey
Staff	Curtis Helgesen, Chief Administrative Officer Cheryl Anderson, Director of Corporate Services Nellie Davis, Manager of Regional Economic Development – left at 1:09 p.m. Janette Derksen, Waste Diversion Supervisor – left at 1:27 p.m. Alex Eriksen, Director of Environmental Services – left at 1:27 p.m. John Illes, Chief Financial Officer Deborah Jones-Middleton, Director of Protective Services Taddea Kunkel, First Nations Liaison Jason Llewellyn, Director of Planning - via Zoom– left at 1:27 p.m. Joshua Platt, Environmental Services Technician – left at 10:05 a.m. Wendy Wainwright, Executive Assistant/Recording Secretary
Others – Via Zoom	CFNR FM Radio – left at 11:22 a.m. Colin Bruintjes, Smithers – left at 11:18 a.m. Brooke Haberst, Smithers – left at 11:57 a.m. Giah Labonte, Smithers – left at 11:18 a.m. David Lalik, Smithers – left at 11:29 a.m. C. McKinnon, Smithers – left at 11:27 a.m. Morven, Smithers – left at 11:46 a.m. Patty Peterson, Smithers – left at 11:46 a.m. Lane Perry, Perry & Co. Smithers – left at 11:18 a.m. Connie Scott, Smithers – left at 11:18 a.m. Shari Smaha, Smithers – left at 11:46 a.m. Barry Smith, Smithers – left at 11:18 a.m. A. Tomayer, Smithers – via Zoom – left at 11:46 a.m. Deb Trumbley, Director, Northern Regions, BC Emergency Health Services – via Zoom – left at 10:36 a.m. Fred Wilson, Smithers – left at 11:53 a.m.
Media	Eddie Huband, LD News

FIRST NATIONS ACKNOWLEDGEMENT

CALL TO ORDER

Chair Thiessen called the meeting to order at 10:02 a.m.

STAFF INTRODUCTION

Alex Eriksen, Director of Environmental Services introduced Joshua Platt, Environmental Services Technician.

AGENDA & SUPPLEMENTARY AGENDA

Moved by Director Funk
 Seconded by Director McGuire

2021-15-1

“That the Board Meeting Agenda of December 16, 2021 be approved; and further, that the Supplementary Agenda be dealt with at this meeting.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

MINUTES

Board Meeting Minutes
November 18, 2021

Moved by Director Brienens
 Seconded by Director Petersen

2021-15-2

“That the Board Meeting Minutes of November 18, 2021 be adopted as amended.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

DELEGATION

BC EMERGENCY HEALTH SERVICES – Deb Trumbley, Director, Northern Regions RE: BCEHS Prioritization Model and Staffing in Communities

Chair Thiessen welcomed Deb Trumbley, Director, Northern Regions, BC Emergency Health Services.

Improving the BCEHS Staffing Model

Introducing a regulated paramedic workforce

- Transforming BCEHS service
- Rural and Remote Staffing
- New Staffing Model: Scheduled On-Call (SOC)
- Community Paramedicine and SOC
- How will SOC help?
- When did this happen?
- What is happening in the Stuart-Nechako Regional Hospital District?
- More on Resources
 - o Granisle
 - o Vanderhoof
 - o Fraser Lake
 - o Fort St. James
 - o Burns Lake
- Transition & Maintaining Emergency 911 Coverage.

Discussion took place regarding the following:

- BCEHS coverage
 - o Houston – Full-time station
 - o Smithers – Full-time station
 - o Increased services in both Houston and Smithers

DELEGATION (CONT'D)

BC EMERGENCY HEALTH SERVICES – Deb Trumbley, Director, Northern Regions RE: BCEHS Prioritization Model and Staffing in Communities (Cont'd)

- Scheduled on Call (SOC) position in Granisle
 - o Blended Community Paramedic into SOC position
 - Receiving calls for an SOC while on a Community Paramedic visit
 - BCEHS will monitor closely the number of calls interrupted
- Village of Granisle and BCEHS working together for a BCEHS Ambulance Station
 - o Capital monies to build a new station
 - o Included in BCEHS 10-year plan and submitted for capital investments
- The Honourable Adrian Dix, Minister of Health announced in July 2021 85 new Paramedic positions
 - o How many BCEHS payroll positions are new and how many are relocating within BCEHS after - Ms. Trumbley will follow up
- Four of the 85 new positions were created for a new unit in Prince George
- Fraser Lake incidents that occurred with no Ambulance coverage
 - o Lack of available ambulances as they are in other communities
 - o Unable to reach BCEHS through 911 during heat dome in 2021
 - BCEHS received over 3000 calls on the first day of the heat dome in 2021
 - o Concerns regarding residents not having access to Ambulance services and having to deliver patients via personal vehicles
 - Ms. Trumbley spoke of cross community coverage and additional resources have been added to assist
 - o Ms. Trumbley recognized the terrible experience that occurred
- Pager rate of pay for on call paramedics
- Southside Ambulance
 - o Community Paramedic model similar to Village of Granisle
 - Will be monitoring the model
 - Due to Community Paramedic travel distances to visit clients their partners travel with them.

Chair Thiessen thanked Ms. Trumbley for attending the meeting.

ELECTORAL AREA PLANNING (All Directors)

Bylaw for 3rd Reading and Adoption

Rezoning Application
RZ-A-07-21 – 3rd Reading
Rezoning Bylaw
No. 1966, 2021
-Electoral Area “A”

Discussion took place regarding the proposed crematorium:

- Public Hearing process and value of community participation
- Number of properties potentially impacted
- Potential pollution and air quality in the Bulkley Valley
- Conflicting opinions regarding health impacts and the need for more objective information
- Current zoning and land use permitted for the property.

Moved by Director Fisher
 Seconded by Director Petersen

2021-15-3

1. “That the Regional District Board receive the Report of the Public Hearing for Regional District of Bulkley-Nechako Rezoning Bylaw No. 1966, 2021.

2. That Regional District of Bulkley-Nechako Rezoning Bylaw No. 1966, 2021 be denied at 3rd Reading.

ELECTORAL AREA PLANNING (All Directors) (CONT'D)

Bylaw for 3rd Reading and Adoption (Cont'd)

3. And that staff be directed to work with the proponent to identify an alternative location for a Crematorium.”

Opposed: Director Lambert CARRIED
Director McGuire
Director Motion

(All/Directors/Majority)

Rezoning Application
RZ- A-08-21 – 3rd Reading
Rezoning Bylaw No. 1965, 2021
- Electoral Area “A”

Moved by Director Fisher
Seconded by Director McGuire

2021-15-4

1. “That the Regional District Board receive the Public Hearing Report for Regional District of Bulkley-Nechako Rezoning Bylaw No. 1965, 2021.

2. That Regional District of Bulkley-Nechako Rezoning Bylaw No. 1965, 2021” be given 3rd reading and adoption this 16th day of December, 2021.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

DEVELOPMENT SERVICES (All Directors)

Miscellaneous Referral

Director Funk removed herself from the meeting at 11:22 a.m. due to a conflict of interest regarding the Village of Burns Lake’s ownership in BL Comfor Ltd.

BL Comfor Ltd. Bridge Over
Burns Lake

Moved by Director Riis-Christianson
Seconded by Director Lambert

2021-15-5

“That staff be directed to work with Burns Lake Community Forest to explore options for their establishment of a bridge that can be maintained as a permanent pedestrian access to the south shore of Burns Lake to facilitate future trail and recreational development in this area.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Director Funk returned at 11:24 a.m.

OTHER

ALC Regulation Changes to
Residential Flexibility Options

Moved by Director Parker
Seconded by Director Greenaway

2021-15-6

“That the Board receive the Senior Planner’s ALC Regulation Changes to Residential Flexibility Options staff report.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

OTHER (CONT'D)

Discussion took place regarding the Zoning Bylaw definition of the Total Floor Area (TFA) and the ALC's definition. Staff discussed utilizing the ALC's definition. The Board discussed bringing the item forward at a future Rural/Agriculture Committee meeting to have further discussion.

ENVIRONMENTAL SERVICES

2022 Capital Budget
Pre-Approval – Air Curtain
Burner Purchase

Moved by Director Storey
 Seconded by Director McGuire

2021-15-7

“That the Board pre-approve \$100,000 in the 2022 Capital Budget purchase of an air curtain burner.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Alex Eriksen, Director of Environmental Services provided an overview of the 2022 Capital Budget Pre-Approval – Air Curtain Burner Purchase memorandum. He provided an explanation regarding the operations of the air curtain burner.

Discussion took place regarding:

- burning of brush and clean wood waste
- Uses for ash and wood chips in farming operations
- Potential options for brush and wood waste
- Analysis of grinding pilot project in early 2022
- Operation Certificate for the Knockholt Landfill.

Break for Lunch at 12:00 p.m.

Reconvened at 12:47 p.m.

ADMINISTRATION REPORTS

Smithers Rural Recreation
and Culture Service Area
Boundary Amendment Bylaw
No. 1968, 2021

Moved by Director Fisher
 Seconded by Director Brienien

2021-15-8

“That Smithers Rural Recreation and Culture Service Area Boundary Amendment Bylaw No. 1968, 2021 be given first, second and third reading this 16th day of December, 2021.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Budget 2022 Update and
Timelines

Moved by Director Riis-Christianson
 Seconded by Director McGuire

2021-15-9

“That a Committee of the Whole Meeting be scheduled for January 20, 2022 to discuss the Draft 2022 Budget.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADMINISTRATION REPORTS (CONT'D)

Bulkley Valley Aquatic Centre
Budget

Moved by Director Fisher
Seconded by Director Parker

2021-15-10

“That the Board include the Bulkley Valley Regional Pool and Recreation Centre budget in the 2022 Regional District Budget.

That the Regional District renew the contract with the Bulkley Valley Aquatic Management Society for a five-year term from January 1, 2022 to December 31, 2026.

That the Regional District enter into the Service Provider Agreement with the Bulkley Valley Aquatic Centre Management Society and provide the completed form to the Municipal Insurance Association.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Virtual BC Natural Resources
Forum – January 18-20, 2022

Moved by Director Parker
Seconded by Director Greenaway

2021-15-11

“That the Rural Directors be authorized to attend the Virtual BC Natural Resources Forum January 18-20, 2022.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

COVID-19 Relief Fund
Applications

Moved by Director Storey
Seconded by Director Greenaway

2021-15-12

“That the Board approve the following Applications for COVID-19 Relief Funds:

Electoral Area “A” (Smithers Rural)

-Telkwa and District Seniors Society – Insurance and utilities
- \$4,964.59

-Telkwa Museum Society – Utilities - \$3,088.76

-Bulkley Valley Collaborative Learning Society – Rent and Insurance - \$12,556.00

-Friends of the Smithers Library – Storage Fees and eBooks
- \$3,003.51

Electoral Area “C” (Fort St. James Rural)

-Fort St. James 2022 Grad Class – Graduation Activities - \$2,000.00

Electoral Area “D” (Fraser Lake Rural)

-Fort Fraser Community Hall Society – Insurance Renewal 2021-2022 - \$3,159.00

-Fraser Lake Chamber of Commerce – Shop and Eat Local Campaign - \$750.00.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Grant in Aid Request - Nechako
Valley Sporting Association

Moved by Director Petersen
Seconded by Director Parker

2021-15-13

“That the Nechako Valley Sporting Association be given \$5,000.00 in Grant in Aid monies from Electoral Area “F” (Vanderhoof Rural) to support the construction of a covered shed with electricity and lighting.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADMINISTRATION REPORTS (CONT'D)

Northern Development Local
 Government Internship
 Program

Moved by Director Storey
 Seconded by Director McGuire

2021-15-14

“That the Board supports the application to Northern Development Initiative Trust for a grant of up to \$50,000 to host an intern under the Local Government Internship Program from the Northwest and Prince George Regional Development Accounts.

And that, the Regional District of Bulkley-Nechako is committed to providing sufficient financial and staffing resources, along with training and professional development opportunities while hosting the intern.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

RDBN Committee
 Appointments – 2022

Moved by Director Riis-Christianson
 Seconded by Director Brienen

2021-15-15

“That the Committee appointments for 2022 be ratified.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

RDBN Appointments - 2022

Moved by Director Petersen
 Seconded by Director Storey

2021-15-16

“That the Board ratify the appointments as outlined for the year 2022:

Bankers:

Bulkley Valley Credit Union

Lawyers:

Stewart McDannold Stuart, Victoria, BC
 Young Anderson, Vancouver, BC
 Carvello Law Corp., Victoria, BC

Election Officers:

Cheryl Anderson, Chief Election Officer
 (with the authority to appoint election
 officials as necessary)
 Geraldine Craven and Wendy
 Wainwright, Deputy Chief Election
 Officers

Signing Authority:

The Chairperson, the Vice Chair,
 Director from the Village of Burns Lake,
 the Director from Electoral Area “B”, the
 Chief Administrative Officer, Chief
 Financial Officer, or Director of
 Corporate Services

Auditors

Beswick Hildebrandt Lund CPA.

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADMINISTRATION REPORTS (CONT'D)

Items to be brought forward to the public agenda from In-Camera Meeting

Moved by Director Parker
Seconded by Director Storey

2021-15-17

“That the Board receive the Director of Corporate Services’ Items to be brought forward to the public agenda from In-Camera Meeting memorandum.

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Truth and Reconciliation Calls to Action

Moved by Director Funk
Seconded by Director Brienen

2021-15-18

“That the Board receive the First Nations Liaison’s Truth and Reconciliation Calls to Action memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Growing Opportunities Newsletter Update

Moved by Director Parker
Seconded by Director Lambert

2021-15-19

“That the Board receive the Regional Agriculture Coordinator’s (East) Growing Opportunities Newsletter Update memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADMINISTRATION CORRESPONDENCE

Administration Correspondence and Action List

Moved by Director Storey
Seconded by Director Lambert

2021-15-20

“That the Board receive the following:

Administration Correspondence

- the Honourable Anne Kang, Minister of Advanced Education and Skills Training – Veterinary Medicine Services in BC
- the Honourable Lisa Beare, Minister of Citizens’ Services – UBCM Follow-up
- the Honourable Katrine Conroy, Minister of Forests, Lands, Natural Resource Operations and Rural Development – UBCM Follow-up
- TransCanada Yellowhead Highway Association - Membership

Action List

- November 2021.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

VERBAL REPORTS AND COMMITTEE CHAIR REPORTS

Village of Granisle Lion’s Club

Director McGuire mentioned that the Village of Granisle Lion’s Club is moving forward with its annual “Light up the Trees” Event at the Village of Granisle Memorial Park. An individual may purchase a tree in memoriam. There are 60 trees that have been lit with Christmas lights.

VERBAL REPORTS AND COMMITTEE CHAIR REPORTS (CONT'D)

COVID-19 Vaccine Booster Shots

Director McGuire noted that the COVID-19 Vaccine Booster Shots are being administered in the community.

Chair Thiessen spoke of the importance of having empathy and focusing on healing.

Village of Granisle Christmas Office Closure

Director McGuire commented that the Village of Granisle Office will be closed for the Christmas break from December 23, 2021 to January 4, 2022.

Connectivity

Director Riis-Christianson mentioned that he has met with CityWest to discuss priority projects.

Director Riis-Christianson attended a Canadian Rural Broadband Meeting. It was identified that there is not a cohesive national strategy for rural connectivity. He commented that broadband infrastructure needs to be viewed as a public utility. Discussion at the meeting also took place regarding low orbit satellites and the cost and the number of satellites being proposed for space. Open access networks was also discussed. He will provide a detailed report at a future Connectivity Committee meeting.

Hay Donations for the Lower Mainland

Director Lambert commented that he is taking hay donations for those impacted by the lower mainland flooding event. He also noted that an account has been set up at the Bulkley Valley Credit Union for donations.

Director Parker mentioned that the Nechako Valley Cattlemen's Association is also collecting hay donations. They are starting to ship to those impacted by flooding in the Merritt area. He noted that the number of local people providing donations was incredible.

Rural/Agriculture Committee Chair Update

Director Parker met with Mark Barnes, Director Office of Research and Innovation at UNBC regarding the Veterinarian Shortage in northern B.C. and scheduling a meeting with area vets, UNBC's Animal Facility Director and other key stakeholders to discuss the issue.

Director Parker also spoke at the Livestock Annual General Meeting. He noted that conversations took place regarding the agriculture initiatives taking place in the RDBN.

Director Parker and Chair Thiessen met with the Honourable Mike Farnworth, Minister of Public Safety and Solicitor General regarding Stay and Defend. They indicated it was a good meeting and that the Ministry committed to further discussions before the next event occurs.

NCLGA Meeting

Director Funk spoke of attending a recent North Central Local Government Association (NCLGA) Meeting. Discussion took place regarding advocacy work with BC Hydro in 2022 regarding the following topics: power outages, communications, access to electricity and 3 phase power. There is a survey requesting members to respond by January 31, 2022. Director Funk will forward the survey.

VERBAL REPORTS AND COMMITTEE CHAIR REPORTS (CONT'D)

<u>COVID-19 Vaccines</u>	Director Funk reported that the number of people receiving vaccines is rising slowly and booster shots are being administered in Burns Lake.
<u>Better Homes Program -Smithers</u>	Director Fisher met with the Better Homes Program in Smithers.
<u>Trout Creek Property -Smithers</u>	Director Fisher met with various stakeholders regarding the Trout Creek Property in Smithers. He noted discussions took place regarding collaboration, safety and accessibility. He also commented that the Ministry of Transportation and Infrastructure has been supportive of potential ideas for the property. Director Fisher mentioned that Witset and the Office of the Wet'suwet'en also participated in the teleconference and discussed education. He noted it was a great meeting and the potential to utilize the property as a community project was good.
<u>Hudson Bay Mountain Resort</u>	Director Fisher mentioned that he has received a number of e-mails regarding the Hudson Bay Mountain Resort ski run to town (Smithers). He indicated that staff are working on the concerns raised in 2020/2021 ski season regarding parking issues at the end of the ski run located in a Smithers neighbourhood.
<u>Green Burials</u>	Director Fisher has received a number of calls regarding green burials as an alternative to crematoriums as he worked on the rezoning application in Electoral Area "A" (Smithers Rural).
<u>Meeting with Community Energy Association</u>	Director Fisher attended a meeting with the Community Energy Association along with Jason Llewellyn, Director of Planning and Jason Berlin, Chief Building Inspector. Discussion took place regarding eliminating the use of wood heat.
	Director Newell brought forward concerns in regard to eliminating the use of wood heat. He spoke of the importance of utilizing wood heat to heat homes in rural northern BC
<u>Northwest BC Resource Benefits Alliance (RBA)</u>	Director Brienens provided an update regarding the RBA. Ron Poole, CAO Regional District of Kitimat-Stikine met with Ministry staff over the past four months. The RBA Steering Committee is scheduled to meet with the Province on January 11, 2022.
<u>Blackwater Gold Project, Artemis Gold Inc.</u>	Director Petersen attended the Community Liaison Committee meeting for the Artemis Gold Inc. Blackwater Gold Project. Discussion took place regarding the Terms of Reference for the Committee and that construction is anticipated to begin in the spring of 2022. It will take approximately two years to construct the mine and the proposed life span of the mine is 25 years. Discussion also took place regarding the lack of local labour and skilled labourers.
<u>Hazard, Risk and Vulnerability Analysis Program</u>	Director Newell met with Liliana Dragowska, HRVA Coordinator and Electoral Area "G" (Houston Rural) volunteers Regarding the HRVA Program. He spoke of the amazing volunteers and work that staff has done moving the project forward.

VERBAL REPORTS AND COMMITTEE CHAIR REPORTS (CONT'D)

Coastal GasLink – Connectivity Fibre Discussions Director Newell thanked CAO Helgesen for his work with Coastal GasLink regarding connectivity fibre in the Buckflats area in collaboration with Coastal GasLink's Phase 2 Compressor Station.

Wet'suwet'en Regional Engagement Group Meeting Director Newell spoke of the Honourable Murray Rankin, Minister of Indigenous Relations and Reconciliation attending the Wet'suwet'en Regional Engagement Group meeting.

Decriminalization of Drugs Director Storey brought forward concerns regarding the decriminalization of drugs that the government is considering. She spoke to the RCMP about their concerns and need for awareness.

Antibullying Committee - Village of Fraser Lake, Nadleh Whut'en First Nation and Stellat'en First Nation Director Storey mentioned that the Village of Fraser Lake, Nadleh Whuet'en and Stellaten First Nations are collaborating on an Antibullying Committee to work with schools and clubs in the area regarding antibullying.

Meeting with the Honourable Murray Rankin, Minister of Indigenous Relations and Reconciliation Chair Thiessen met with the Honourable Murray Rankin, Minister of Indigenous Relations and Reconciliation. Minister Rankin was encouraged by the work being done at the RDBN.

Meeting with Centerra Gold Chair Thiessen met with Centerra Gold – Mount Milligan. He spoke of the number of workers living in Vanderhoof and area. He spoke of the transition of jobs from forestry to mining.

Police Incident in Vanderhoof Chair Thiessen spoke of the healing needed and taking place in the community of Vanderhoof after the recent incident of a shooting at the RCMP Detachment in Vanderhoof. He mentioned that Saik'uz First Nation Elders assisted in a healing ceremony for the reopening of the RCMP Detachment. He expressed his appreciation to the surrounding communities that provided RCMP support at the time of the event.

Receipt of Verbal Reports Moved by Director Storey
 Seconded by Director Newell

2021-15-21 "That the verbal reports of the various Board of Directors be received."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

IN-CAMERA MOTION

Moved by Director Storey
Seconded by Director Newell

2021-15-22

“In accordance with Section 90 of the *Community Charter*, it is the opinion of the Board of Directors that matters pertaining to Section 90(1)(c) labour relations or other employee relations, 90(1)(d) the security of the property of the Regional District (Cyber Security) and 90(1)(e) the acquisition, disposition or expropriation of land or improvements, if the Board considers that disclosure could reasonably be expected to harm the interests of the Regional District (Somerset Estates), therefore exercise their option of excluding the public for this meeting.”

(All/Directors/Majority) CARRIED UNANIMOUSLY

ADJOURNMENT

Moved by Director Storey
Seconded by Director Newell

2021-15-23

“That the meeting be adjourned at 1:33 p.m.”

(All/Directors/Majority) CARRIED UNANIMOUSLY

Gerry Thiessen, Chair

Cheryl Anderson, Director of Corporate Services

REGIONAL DISTRICT OF BULKLEY-NECHAKO**COMMITTEE OF THE WHOLE MEETING****Thursday, January 13, 2022**

PRESENT: Chair Gerry Thiessen

Directors Gladys Atrill – via Zoom
Shane Brienen – via Zoom
Mark Fisher– via Zoom
Dolores Funk
Tom Greenaway
Clint Lambert
Linda McGuire – via Zoom
Annette Morgan– via Zoom
Bob Motion
Chris Newell– arrived at 12:55 p.m., left at 1:06 p.m.
Mark Parker
Jerry Petersen
Michael Riis-Christianson
Sarrah Storey – via Zoom

Staff Curtis Helgesen, Chief Administrative Officer
Cheryl Anderson, Director of Corporate Services
Nellie Davis, Manager of Regional Economic Development
John Illes, Chief Financial Officer
Deborah Jones-Middleton, Director of Protective Services
Taddea Kunkel, First Nations Liaison – via Zoom
Jason Llewellyn, Director of Planning
Wendy Wainwright, Executive Assistant/Recording Secretary

Others Ken Nielsen, General Manager, Chinook Community Forest

Media Eddie Huband, LD News

CALL TO ORDER

Chair Thiessen called the meeting to order at 12:47 p.m.

AGENDAMoved by Director Petersen
Seconded by Director Lambert**C.W.2022-1-1**

“That the Agenda of the Committee of the Whole meeting of January 13, 2022 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY**MINUTES****Committee of the Whole
Minutes – November 4, 2021**Moved by Director Parker
Seconded by Director Petersen**C.W.2022-1-2**

“That the Committee of the Whole meeting minutes of November 4, 2021 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

REPORTS

Market and Non-Market Changes in Assessments

Moved by Director Funk
 Seconded by Director Motion

C.W.2022-1-3

“That the Committee receive the Chief Financial Officer’s Market and Non-Market Changes in Assessments memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Discussion took place regarding the following:

- Providing public communication regarding Property assessments and property taxes
- Property tax rates
- Average market value increase in the RDBN
- Average market value increase for residential property on agricultural land
- Industrial/commercial properties remaining stable with some values decreasing.

Emergency Program Activity Summary and 2021 Wildfire After-Action Report

Moved by Director Motion
 Seconded by Director Atrill

C.W.2022-1-4

“That the Committee receive the Emergency Program Coordinators’ Emergency Program Activity Summary and 2021 Wildfire After-Action Report staff report.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

The following was discussed:

- The Board expressed appreciation for the excellent report and thanked staff for their work
- Positive feedback from First Nations communities regarding collaboration with First Nations communities during the 2021 Wildfire season
- Cooperation between BC Wildfire Service and local contractors to action the 2021 Wildfires in the region.

Truth and Reconciliation Call to Action

Moved by Director Lambert
 Seconded by Director Funk

C.W.2022-1-5

“That the Committee receive the First Nations Liaison’s Truth and Reconciliation Calls to Action memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Taddea Kunkel, First Nations Liaison provided an overview of the Truth and Reconciliation Calls to Action memorandum focusing on Recommendations 22 and 23.

ADJOURNMENT

Moved by Director Greenaway
Seconded by Director Funk

C.W.2022-1-6

“That the meeting be adjourned at 1:11 p.m.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Gerry Thiessen, Chair

Cheryl Anderson, Director of Corporate Services

REGIONAL DISTRICT OF BULKLEY-NECHAKO
NATURAL RESOURCES COMMITTEE MEETING

Thursday, January 13, 2022

PRESENT: Chair Shane Brienen – via Zoom

Directors Gladys Atrill – via Zoom
Mark Fisher– via Zoom
Dolores Funk
Tom Greenaway
Clint Lambert
Linda McGuire– via Zoom
Annette Morgan– via Zoom
Bob Motion
Chris Newell – via Zoom
Mark Parker
Jerry Petersen
Michael Riis-Christianson
Sarrah Storey – via Zoom – left at 12:00 p.m.
Gerry Thiessen

Staff Curtis Helgesen, Chief Administrative Officer
Cheryl Anderson, Director of Corporate Services
John Illes, Chief Financial Officer
Deborah Jones Middleton, Director of Protective Services – arrived at 10:50 a.m.
Taddea Kunkel, First Nations Liaison – via Zoom
Jason Llewellyn, Director of Planning
Wendy Wainwright, Executive Assistant/Recording Secretary

Others Eamon, O’Donoghue, Associate Deputy Minister, Ministry of Forests, Lands, Natural Resource Operations and Rural Development – left at 11:24 a.m.
Lori Borth, Regional Executive Director, Omineca, Ministry of Forests, Lands, Natural Resource Operations and Rural Development – left at 11:24 a.m.
Ken Nielsen, General Manager, Chinook Community Forest
Mike Hykaway, Assistant Deputy Minister, North, Ministry of Forests, Lands, Natural Resource Operations and Rural Development – left at 11:24 a.m.

Media Eddie Huband, LD News

CALL TO ORDER

Chair Brienen called the meeting to order at 10:35 a.m.

AGENDA

Moved by Director Atrill
Seconded by Director Parker

NRC.2022-1-1

“That the Natural Resources Committee Agenda for January 13, 2022, be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

MINUTES

Natural Resources Committee Meeting Minutes – November 4, 2021 Moved by Director Lambert
 Seconded by Director Atrill

NRC.2022-1-2 “That the Natural Resources Committee Meeting Minutes of November 4, 2021 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

DELEGATION

MINISTRY OF FORESTS, LANDS, NATURAL RESOURCE OPERATIONS AND RURAL DEVELOPMENT – Eamon O’Donoghue, Associate Deputy Minister: Old Growth Deferral

Chair Brienen welcomed Eamon O’Donoghue, Associate Deputy Minister, Ministry of Forests, Lands, Natural Resource Operations and Rural Development.

Mr. O’Donoghue provided an overview of the Province of B.C.’s Old Growth Deferral.

He spoke of the following:

- The Garry Merkel and Al Gorley Report “A New Future for Old Forests”
 - 14 Recommendations
 - Recommendation 6 Immediate Response to Ecosystems at Very High Risk
 - Old forests protected/deferred from development
- Short term temporary deferral announced by Province November 2, 2021
 - Engage with First Nations regarding the proposed at-risk old growth map developed by the Technical Advisory Panel
 - Technical Advisory Panel (TAP)
 - 5 people
 - Conservation focused panel
 - 2.6 Million ha.
 - Three categories of old growth forests
 - Large treed
 - Rare
 - Ancient
 - 500,000 ha. of the 2.6M ha.
- TAP Model map
 - Not an operational map
 - Field guide being developed and will be available shortly
- Government to Government discussions with First Nations and the Province
 - Province gave 30 day timeline
 - Challenging to meet timeline
 - Provide outreach to all 204 First Nations communities across the Province
 - Received significant response from First Nations
 - 13 First Nations have said ‘yes’ to deferrals as presented in the technical advisory group
 - Approx. 13 indicated ‘no’ to the deferral as they are already managing the forest
 - Approx. 50% no response or need more time
 - Capacity is a challenge for many First Nations impacted by emergency events – (flooding and wildfires)

DELEGATION (CONT'D)

MINISTRY OF FORESTS, LANDS, NATURAL RESOURCE OPERATIONS AND RURAL DEVELOPMENT – Eamon O'Donoghue, Associate Deputy Minister: Old Growth Deferral (CONT'D)

- The remaining First Nations have indicated not interested in Technical Advisory Committee map
 - Interested in old growth forests and are currently managing or want a new management plan
- Carrier Sekani Tribal Council
 - Involved in land use planning with the Province
 - Will address old growth through that process
- Other First Nations indicated they want new processes or will address through current land use processes with Province
- Lake Babine Nation
 - May consider old growth through resiliency process
 - Expect some First Nations may have new deferrals
 - Some indicated they want the Province to remove deferrals immediately
- Update will be provided to Provincial Cabinet at the next sitting
- Will work through remainder of old growth strategic review and remaining 13 recommendations in the Gorley/Merkel Report
- 2.6M ha. will not be deferred in its entirety
 - Deferral will take place only where First Nations agree
 - Will await Provincial Cabinet response
- Province will work with First Nations based on their response back to FLNRORD
- Number will change as more nations engage in the process
- Other two categories of old growth forests
 - Rare
 - Ancient
 - Government may seek a longer-term deferral
- Dynamic file – a lot of confusion on behalf of licensess
 - Can proceed with cutting license currently in place
 - Only BC Timber Sales proposed sales currently deferred from harvest.

Discussion took place regarding:

- BC Timber Sales
- Tariffs
- Pressures on the forest industry
- Old growth deferral within RDBN
 - Currently no specific deferral requests explicitly
 - A number of existing processes
 - Carrier Sekani Pathways Forward 2.0 Agreement
 - Lakes Resiliency Project
- Overlapping traditional First Nation Territories
 - Strength to Claim
- Impacts from Provincial initiatives/announcements
 - Economy
 - Socio-economic
 - Division within the Province
 - How will forestry based communities move forward?
 - Provincial plans may assist individual people and not the larger community
- Provincial worker transition supports
- Challenges in the forest sector across the Province
 - Mountain Pine Beetle
 - Wildfires

DELEGATION (CONT'D)

MINISTRY OF FORESTS, LANDS, NATURAL RESOURCE OPERATIONS AND RURAL DEVELOPMENT – Eamon O'Donoghue, Associate Deputy Minister: Old Growth Deferral (CONT'D)

- Diversifying forestry
 - Value from fibre
 - Examples in the region
 - Continue advocacy
- Forestry policy challenges
 - Some changes to make fibre more available
- General public engagement and community participation
 - Confusion regarding the Province's Old Growth Deferral
 - Need to find a way for public engagement in the process
 - Address public concerns
 - Public uncertainty creates public unease
 - A well-informed community is better
 - Province considering longer term communication/public engagement strategy
- Mr. O'Donoghue spoke of using a simple one-page communication
 - In the past FLNRORD has utilized web-based tools for communication
 - Encouraged communication with Assistant Deputy Minister Mike Hykaway, Ministry of Forests, Lands, Natural Resource Operations and Rural Development
- Communities wanting to work with the Province on value-added opportunities
 - If there is a process to allow participation encouraged engagement
- Challenges of differing approaches to Old Growth deferrals
- Local Governments have a strong voice
 - Advocating through the Union of B.C. Municipalities
- Encouraged Province to include Local Government in the process with government to government discussions with First Nations.

Chair Brienens requested FLNRORD provide updates monthly to the Committee.

Chair Brienens thanked Mr. O'Donoghue for attending the meeting.

REPORTS

Input Request on the Design of Skeena Region Roundtable Moved by Director Atrill
 Seconded by Director Funk

NRC.2022-1-3 “That the Committee receive the First Nations Liaison’s Input Request on the Design of Skeena Region Roundtable memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

The following questions from the memorandum were discussed:

- What are the main objectives for the overall Roundtable process that are important to your organization?
 - Capacity
 - RDBN First Nations Liaison
 - Reconciliation starts at the beginning (on the ground)
 - Elected Official engagement
 - Differences across the region
 - Recognition that communities have different views moving forward

REPORTS (CONT'D)

- What should be the focus of the initial meeting to ensure a successful process going forward?
 - Require data
 - Rationale moving forward
 - Socio-economic data to illustrate impacts to communities
 - Same foundational understanding
 - Defining what will be included under Natural Resources
 - Enough time to work towards an agreement going forward
- How often should the Roundtable meet and for how long?
 - Every 4-6 weeks
- What are some key topics your organization would like to discuss at the initial meeting?
 - Start conversations at the beginning of the process
 - Local government inclusion from the beginning
- Clarity is required regarding who will be participating
 - Need to ensure First Nations inclusion
 - Important to work together
- What is your organization's preference for receiving material related to the meeting (e.g., by email, shared document site)?
 - Shared document site
- Any other information or comments you would like to provide?
 - Local Government participation in Province's government to government discussions with First Nations
 - Impacts to communities and lack of community engagement.

CORRESPONDENCE

Burns Lake Community Forest Ltd. – Harmonizing Stumpage Policy for Community Forests Moved by Director Funk
 Seconded by Director McGuire

NRC.2022-1-4 "That the Committee receive the Correspondence from the Burns Lake Community Forest Ltd.- Harmonizing Stumpage Policy for Community Forests."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Write a Letter RE: Harmonizing Stumpage Policy for Community Forests Moved by Director Riis-Christianson
 Seconded by Director Funk

"That the Committee recommend that the Board write a letter in regard to the concerns and impacts of Harmonizing the Stumpage Policy for Community Forests."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

The following was discussed:

- Village of Burns Lake Letter regarding Harmonizing Stumpage Policy for Community Forests
- Increased cost for Community Forests to operate
- Loss of community benefits
- Community Forests Tabular rates

- First Nations Woodland Licenses – MPS (market-based timber pricing system)

CORRESPONDENCE (CONT'D)

- Provincial Government's policy intention to harmonize stumpage policy for community forests with the policy from First Nations Woodland Licenses
- Many Community Forests are area based
- Community Forests and wildfire mitigation works
- Bring forward for further discussion with Ministry of Forests, Lands, Natural Resource Operations and Rural Development at a future Natural Resources Committee meeting.

Canfor Calls on BC
 Government to Rethink Old
 Growth Deferral Process
 -Together we can Protect Our
 Forests and Workers and
 Communities

Moved by Director Lambert
 Seconded by Director Atrill

NRC-2022-1-5

"That the Committee receive the Correspondence – Canfor Calls on BC Government to Rethink Old Growth Deferral Process – Together we can Protect our Forests and Workers and Communities."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADJOURNMENT

Moved by Director Atrill
 Seconded by Director Lambert

NRC.2022-1-6

"That the meeting be adjourned at 12:08 p.m."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Shane Brienen, Chair

Cheryl Anderson, Director of Corporate Services

REGIONAL DISTRICT OF BULKLEY-NECHAKO**RURAL/AGRICULTURE COMMITTEE MEETING****Thursday, January 13, 2022**

PRESENT: Chair Mark Parker

Directors Mark Fisher - via Zoom
Tom Greenaway
Clint Lambert
Chris Newell- via Zoom
Jerry Petersen
Michael Riis-Christianson
Gerry Thiessen – left at 1:12 p.m., returned at 1:15 p.m., left at 1:19 p.m.

Staff Curtis Helgesen, Chief Administrative Officer
Cheryl Anderson, Director of Corporate Services
Nellie Davis, Manager of Regional Economic Development
Janette Derksen, Waste Diversion Supervisor – arrived at 1:24 p.m.
Alex Eriksen, Director of Environmental Services via Zoom – arrived at 1:31 p.m.
John Illes, Chief Financial Officer
Deborah Jones-Middleton, Director of Protective Services
Jason Llewellyn, Director of Planning
Michelle Roberge, Agriculture Coordinator (East) – via Zoom
Wendy Wainwright, Executive Assistant/Recording Secretary

Others Shane Brienen, District of Houston – via Zoom
Linda McGuire, Village of Granisle - via Zoom
Annette Morgan, Village of Telkwa – via Zoom
Bob Motion, District of Fort St. James

CALL TO ORDER

Chair Parker called the meeting to order at 1:12 p.m.

AGENDAMoved by Director Lambert
Seconded by Director Riis-Christianson**RDC.2022-1-1**

“That the Rural/Agriculture Committee Agenda for January 13, 2022 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY**MINUTES****Rural/Agriculture Committee
Meeting Minutes
-December 16, 2021**Moved by Director Petersen
Seconded by Director Lambert**RDC.2022-1-2**

“That the minutes of the Rural/Agriculture Committee meeting of December 16, 2021 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

AGRICULTURE REPORT

Verbal Report – Michelle Roberge, Agriculture Coordinator (East) – Meat and Greet Information Session and Open House

- Two virtual sessions
 - o Meat and Greet - Day 1
 - Discuss processing in the meat industry
 - Perspective of the meat producers
 - Key industry experts
 - Abbatoirs
 - Cut and wrap
 - Training
 - Government
 - Determine Gaps
 - Develop immediate action items and long-term planning
 - o Open House – Day 2
 - Two hour session
 - Open to general public
 - Target producers, students and others interested in meat industry
 - Educators
 - Local governments
 - Short presentation by experts
 - Mostly Q & A
 - Provide follow up documentation.

The following was discussed:

- Beneficial to have all key stakeholders together
- Provide direction moving forward
 - o Local initiatives
 - o Ministry of Agriculture
 - o Post-Secondary Education
 - o Outreach materials
 - o Advocacy
- Draft Agenda items
- Developing solutions to identify gaps.

RURAL REPORTS

2022 Local Government Elections Orientation Package

The following was discussed regarding additional material for the 2022 Local Government Elections Orientation Package:

- Background regarding existing services within Electoral Areas
- A list of groups/organizations within Electoral Areas
- Outline of organizations
 - o Northern Development Initiative Trust
 - o Regional Hospital Districts
 - o Smithers Transit Committee, etc.
- Meeting process and procedures – Meeting 101
 - o How and when to make a motion
 - o Brief outline of Roberts Rules of Order
 - o Commonly used acronyms
- RDBN structure
 - o Staff/Director relationship

RURAL REPORTS (CONT'D)

- Expectation of Directors
 - o Number of meetings per month
 - o Times of meetings
 - Consider options to adjust meeting times
 - o Potential travel time to attend RDBN meetings
 - o Potential commitment to attend other conventions and meetings
- All Candidates Forum
 - o Consider hosting at electoral area community halls
- Provide public communication regarding the 2022 Local Government Elections and nomination process.

NWIPC 2021 Update

Michelle Roberge, Agriculture Coordinator (East) provided an overview of the NWIPC 2021 Update memorandum. The following was discussed:

- NWIPC hired a new Field Manager for 2021
- 2021 weather impacted the ability to conduct treatments
- On-the-ground invasive plant surveys
- New signage planned for recreational access points
- Treatments of Ministry of Transportation and Infrastructure contractor gravel pits
- Funding allocation
- Landowner Rebate program
 - o Minimal uptake for the program
 - o Look at options to promote the program.

Minor Fire Services

Moved by Director Lambert
 Seconded by Director Riis-Christianson

RDC.2022-1-3

“That the budgets discussed in the Minor Fire Services memorandum be included in the 2022 Financial Plan.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

2022 Capital Budget Pre-Approval – Fort Fraser Fire Truck

Moved by Director Petersen
 Seconded by Director Lambert

RDC.2021-1-4

“That the Committee recommend that the Board pre-approve \$740,000 in the 2022 Fort Fraser Local Fire Department Budget for the purchase of two fire apparatus for the Fort Fraser Fire Department.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

COVID-19 Relief Fund Applications

Moved by Director Greenaway
 Seconded by Director Lambert

RDC.2022-1-5

“That the Committee recommend that the Board approve the following applications for COVID-19 Relief Funds

-Electoral Area C (Fort St. James Rural)

- Fort St. James Curling Club - Utilities and Ice Preparation
 - \$4,932.18
- Fort St. James Speed Skating Club – Ice Fees for 2021/22
 Session - \$5,000.00.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

ADJOURNMENT

Moved by Director Riis-Christianson
Seconded by Director Lambert

RDC.2021-1-6

“That the meeting be adjourned at 1:48 p.m.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Mark Parker, Chair

Cheryl Anderson, Director of Corporate Services

REGIONAL DISTRICT OF BULKLEY-NECHAKO**WASTE MANAGEMENT COMMITTEE MEETING****Thursday, January 13, 2022**

PRESENT: Chair Mark Fisher– via Zoom

Directors Gladys Atrill – via Zoom
Shane Brienen – via Zoom
Jerry Petersen
Michael Riis-Christianson
Gerry Thiessen

Director Absent Chris Newell, Electoral Area “G” (Houston Rural)

Staff Curtis Helgesen, Chief Administrative Officer
Cheryl Anderson, Director of Corporate Services
Janette Derksen, Waste Diversion Supervisor
Alex Eriksen, Director of Environmental Services
Wendy Wainwright, Executive Assistant/Recording Secretary

Others Annette Morgan, Village of Telkwa – via Zoom
Clint Lambert, Electoral Area “E” (Francois/Ootsa Lake Rural)
Ken Nielsen, General Manager, Chinook Community Forest – via Zoom
Mark Parker, Electoral Area “D” (Fraser Lake Rural)

Media Eddie Huband, LD News – left at 2:21 p.m.

CALL TO ORDER

Chair Fisher called the meeting to order at 1:49 p.m.

AGENDAMoved by Director Brienen
Seconded by Director Atrill**WMC.2022-1-1**

“That the Waste Management Committee Agenda for January 13, 2022 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY**MINUTES****Waste Management
Committee Meeting Minutes
December 16, 2021**Moved by Director Brienen
Seconded by Director Petersen**WMC.2022-1-2**

“That the Minutes of the Waste Management Committee for December 16, 2021 be approved.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

COMMUNITY ADVOCACY

Verbal Update – Chair Fisher – Ministry of Environment and Climate Change Strategy Meeting – December 20, 2021

Chair Fisher spoke of the following:

- Follow up meeting from 2021 Union of B.C. Municipalities Convention
- Met with Bob MacDonald, Director, Extended Producer Responsibility, Ministry of Environment and Climate Change Strategy
 - o Topics discussed:
 - Developing an ICI Pilot project
 - Circular economy
 - ICI data collection will be released in 2022
 - Densification
 - MoE suggested focusing on densification
 - Coast Waste Management Association a resource
- No progress moving forward
- Ministry of Environment and Climate Change has indicated that in discussions with Stewardships there is no a desire to make changes.

Meeting with Coast Waste Management Association

- Island and rural communities sub working group
- Discussed emergency management
 - o Impacts from facility closures and road closures
 - o Rerouting of waste and recycling during an emergency event.

Northern BC Solid Waste Management Forum 2021 Resource Package

Moved by Director Atrill
 Seconded by Director Riis-Christianson

WMC.2022-1-3

“That the Committee receive the Northern BC Solid Waste Management Forum 2021 Resource Package.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

SOLID WASTE ADVISORY COMMITTEE (SWAC) UPDATE

Verbal Report re: Recruitment

Alex Eriksen commented that Environmental Services has received minimal uptake for the SWAC and advocating for members is a priority.

POLICY REVIEW

None

DIVERSION & RECYCLING

Ministry of Environment and Climate Change Canada -Single-Use Plastics Prohibition Regulations

Moved by Director Lambert
 Seconded by Director Riis-Christianson

WMC.2022-1-4

“That the Committee receive the Correspondence from the Ministry of Environment and Climate Change Canada – Single-Use Plastics Prohibition Regulations.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

DIVERSION & RECYCLING (CONT'D)

Verbal Report – Recycle BC Depot Challenges

Mr. Eriksen provided a brief overview of the Recycle BC Depot challenges due to the flooding in southern B.C. in November and December 2021.

The following was discussed:

- RDBN Recycling facilities experiencing resource issues
 - o Minor short-term closures
 - o Staff has received concerns from residents
- Concerns regarding residents' ability to recycle
- Staff in contact with Recycle BC to address supply issues
- Staff are providing public notification regarding the issue
 - o RDBN website
 - o Bulkley Nechako Public Alerts
 - o Social media posts
 - o Signage at RDBN Recycling Depots
- Stockpiling recyclables at RDBN Recycling Depots challenging
 - o Lack of space
 - o Lack of enclosed storage space
- RDBN back up supplies have been diminished
- Recycle BC correspondence regarding impacts across the province from supply issues.

Write a Letter to Recycle BC

Moved by Director Petersen
 Seconded by Director Atrill

WMC.2022-1-5

“That the Committee recommend that the Board write a letter to Recycle BC providing an outline of the current supply issues RDBN Recycling Depots are experiencing and what is required to address the issue; and further, that the letter be cc'd to Ministry of Environment and Climate Change Strategy, Green for Life Environmental Inc., John Rustad, MLA Nechako Lakes and Nathan Cullen, MLA Bulkley Stikine.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

OPERATIONS UPDATE

Knockholt Landfill Update -Waste Re-routing Plan

Moved by Director Brienon
 Seconded by Director Riis-Christianson

WMC.2022-1-6

“That the Committee receive the Director of Environmental Services' Knockholt Landfill Update – Waste Re-routing Plan memorandum.”

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Mr. Eriksen provided an update regarding the Knockholt Landfill Waste Re-routing Plan. He indicated the time frame has been extended two months. The Rerouting Plan is currently in stage 1 and 2 and is not impacting commercial haulers. Mr. Eriksen indicated that staff continuously evaluate the Knockholt Landfill capacity.

OPERATIONS UPDATE (CONT'D)

Discussion took place regarding:

- Pipeline construction waste and rates paid for Construction and Demolition waste for pipeline construction
- Review of Solid Waste Management Facility user fees during budget process
- Challenges conducting construction works for the Knockholt Landfill expansion during winter months.

MISCELLANEOUS

None

FUTURE MEETING TOPICS

- Environmental Services Department Structure Update – January 2022
- Agricultural Plastics Pilot Program Update – February 2022
- Metal Salvage Discussion – March 2022
- Revenue vs. Diversion Discussion Including Airspace & Development Costs-March 2022
- Legacy Projects – Funding Request Updates – March 2022
- Wood waste discussion (focus on diversion and airshed issues).

ADJOURNMENT

Moved by Director Brien
 Seconded by Director Atrill

WMC.2022-1-7

"That the meeting be adjourned at 2:35 p.m."

(All/Directors/Majority)

CARRIED UNANIMOUSLY

Mark Fisher, Chair

Cheryl Anderson, Director of Corporate Services

**REGIONAL DISTRICT OF BULKLEY-NECHAKO****STAFF REPORT**

TO: Chair Thiessen and Board of Directors
FROM: Danielle Patterson, Senior Planner
DATE: January 27, 2022
SUBJECT: Rezoning Application RZ A-09-21
1st and 2nd Reading for Rezoning Bylaw 1969, 2022

RECOMMENDATION

1. That “Regional District of Bulkley-Nechako Rezoning Bylaw No. 1969, 2022” be given 1st and 2nd reading and subsequently be taken to Public Hearing.
2. That the Public Hearing for “Regional District of Bulkley-Nechako Rezoning Bylaw No. 1969, 2022” be delegated to the Director or Alternate Director for Electoral Area A.

VOTING

All / Directors / Majority

EXECUTIVE SUMMARY

The proposed rezoning of the property from the Small Holdings (H1) Zone to the Small Holdings – Additional Dwelling (H1A) Zone will allow the replacement of one of the two single family dwellings on the subject property, which was damaged by fire. Staff recommend that Rezoning Bylaw No. 1969, 2022 be given 1st and 2nd Reading.

APPLICATION SUMMARY

Name of Agent/Owner:	Chris Schippers, Schippers Creek Contracting Ltd.
Electoral Area:	A
Subject Property:	Lot 3, Section 11, Township 1A, Range 5, Coast District, Plan 4130
Property Size:	3.50 ha (8.65 ac)
OCP Designation:	Rural Residential (RR) in "Smithers Telkwa Rural Official Community Plan Bylaw No. 1704, 2014"
Zoning:	Small Holdings (H1) in RDBN Zoning Bylaw No. 1800, 2020 (the Zoning Bylaw)
ALR Status:	Not in the ALR
Existing Land Use:	Residential (both residential structures are vacant)
Location:	5024 & 5084 Laughlin Road, approximately 175 m from Highway 16 and abutting the western boundary of the Town of Smithers airport lands (see Subject Property Map)

Subject Property**Proposed Rezoning**

The applicant requests a rezoning of the subject property from the Small Holdings (H1) Zone to the Small Holdings – Additional Dwelling (H1A) Zone to allow the construction of a second dwelling which was damaged by fire. This fire damaged dwelling was built in the 1970s when the

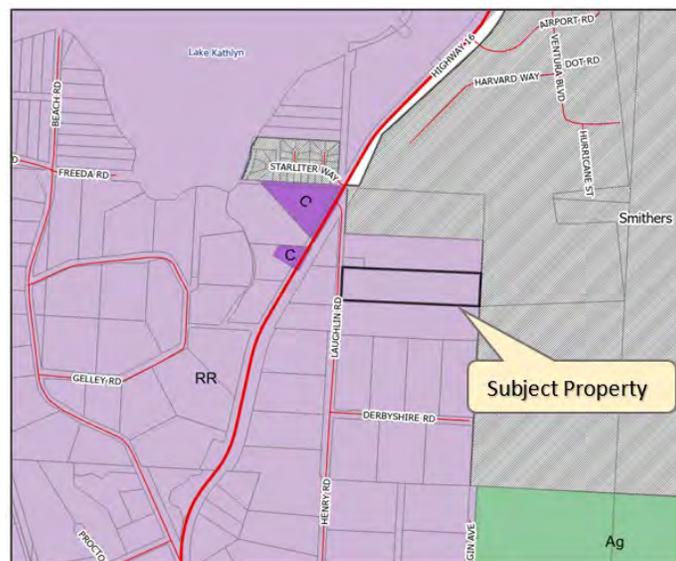
property was zoned Rural II under repealed Zoning Bylaw No 18, 1970. Repealed Zoning Bylaw 18, 1970 allowed properties 5 ac (2.02 ha) or larger in the Rural II Zone to have two dwellings. The Town of Smithers Airport abuts the rear yard of the subject property.

Official Community Plan

The subject property is designated Rural Residential (RR) in the “Smithers Telkwa Rural Official Community Plan Bylaw No. 1704, 2014” (OCP). To the north, west, and south of the property, lands are designated for Rural Residential land use. The subject property is about 175 m from lands in the Commercial land use designation.

OCP Map

Light Purple = Rural Residential Designation; Dark Purple = Commercial Designation; Green = Agriculture Designation
Grey Hatching = Town of Smithers



The RR designation is intended to provide opportunities for people to live in a rural setting while protecting and preserving the rural character of the area. The objectives for the RR designation include providing opportunities for residential lots that fit the rural character, support opportunities for affordable housing, avoid sprawl while allowing limited infill development, ensure development does not have a significant negative impact on the natural environment, and to protect and enhance the quality of life of new and existing residential developments.

OCP Policy Section 3.4.2(7) states a rezoning application to allow a second single family dwelling on a parcel may only be considered under the following circumstances:

- “(a) The subject property is a minimum of 2 hectares (5 acres) in size or larger, or a 2nd single family dwelling exists and is legal but non-conforming to zoning.*
- (b) It has been demonstrated that the parcel can accommodate an on-site sewage disposal system for two dwellings.*
- (c) The development is compatible with adjacent land uses and maintains the rural character of the area.*

(d) The parcel is not located within a floodplain or on other hazard lands.

(e) The development addresses wildlife and ecological values.

(f) And, the future subdivision of the land into a parcel smaller than 2 hectares (5 acres) is prohibited.”

The property is located close to commercial development, Highway 16, and the neighbourhood is mostly zoned Small Holdings (H1) with some parcels zoned Small Holdings – Additional Dwelling (H1A). There is a 1971 building permit on file that references a septic system. Compliance to Northern Health regulations will be ensured as part of the building permit process for any new dwelling.

The application includes an initial site investigation report performed by a Registered Onsite Wastewater Practitioner stating that there are three buildings:

- Building A is the fire damaged dwelling with no septic tank or field,
- Building B is a dwelling with an older functioning septic system that has not been updated to present standards, and
- Building C has no sewerage system and is located next to an outhouse. Staff have confirmed with the property owner that Building C is a dilapidated storage building and the outhouse is no longer in use (vegetation is growing through the outhouse).

Zoning and Legal Non-Conformity

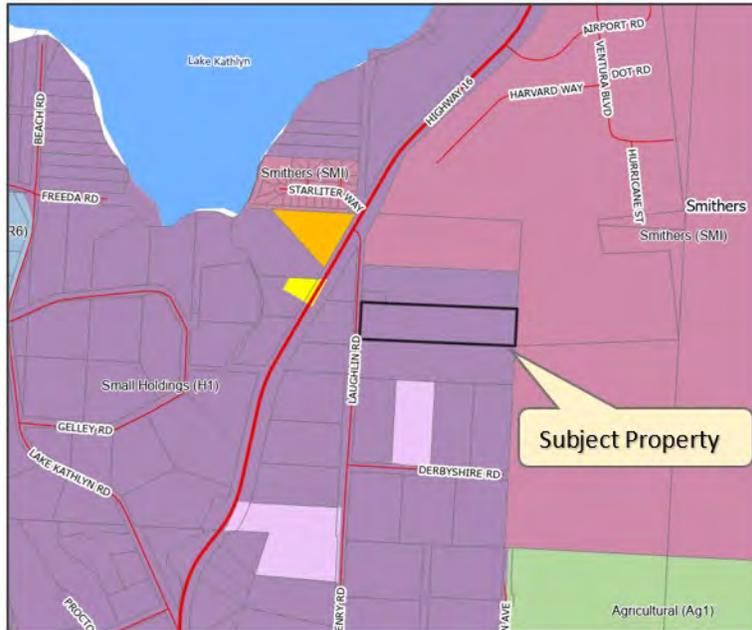
Sections 528 to 532 of the *Local Government Act* place limitations on legally non-conforming uses, that extinguish the legality of a non-conformity when:

- a use has been discontinued for 6 months or more,
- 75% of the value of a building has been damaged/destroyed, or
- a structural alternation is required.

The property owner has stated that the second dwelling has been vacant since the fire and would need to be rebuilt to be habitable. Due to this, the previous legal non-conformity of the second dwelling no longer applies, and the property owner would need to rezone the property to have a second dwelling.

Zoning Map

Dark Purple = Small Holdings (H1) Zone; Light Purple = Small Holdings – Additional Dwelling (H1A) Zone; Yellow = General Commercial (C1) Zone; Orange = Highway Commercial (C2) Zone; and Green = Agricultural (AG1) Zone
 Pink = Town of Smithers



The 3.50 ha (8.65 ac) property meets the parcel size requirement of the Small Holdings (H1) Zone and Small Holdings – Additional Dwelling (H1A Zone). The difference between the H1 Zone and H1A Zone is the permitted density and maximum dwelling size for a second dwelling, as shown below:

Parcel Area	Maximum Permitted Density	
	H1 Zone	H1A Zone
Less than 2 ha (4.94 ac)	1 SFD OR 1 Two Family Dwelling	2 Single Family Dwellings (only 1 of 2 may exceed 120 m ² /1,290 ft ²) OR 1 Two Family Dwelling
2 ha (4.94 ac) or greater	2 SFD OR 1 Two Family Dwelling	

REFERRAL COMMENTS

Electoral Area A Advisory Planning Commission: supported the application.

Northern Health: No comments received.

Town of Smithers: No comments received.

Ministry of Transportation and Infrastructure (MoTI): *“The Ministry sees no impact to our infrastructure and has no comments at this time. Pursuant to section 52(3)(a) of the Transportation Act, the Ministry of Transportation and Infrastructure is prepared to endorse the Bylaw after its third reading.”*

ATTACHMENTS

- Applicant Submission
- Bylaw No. 1969, 2022

Initial site investigation report for rezoning application

Date: December 5, 2021

Legal Description: LOT: 3 SECT: 11 R5 CD PLAN 4130

Street Address: 5024 Laughlin Road, Smithers

Property Owner: Chris Shippers
20484 Kitseguecla Lake Road
Smithers, BC

Summary of Inspection:

The topography evidenced by deep pockets naturally lends itself to gravity fed lagoon system. (Type 1) Adjacent lots of similar size north and south (lots 2&4) contain newer Lagoon type systems.

Site Information:

Total parcel size: 8.69 Acres, 3.52 Ha

Water: A drilled well 6" dia. is located inside an insulated heated pump house near building A

Site/ Soil Evaluation: *(Surface based evidence only)*

Soil pit evaluation and hydraulic potential testing, (permeameter) will be conducted next spring to confirm results required by the Sewerage System Regulation and the Sewerage System Standard Practices Manual of the B.C. Surface evidence from field inspection reveal high percentages of clay bases soils consistent with the glacial till common in the Bulkley Valley. Mixed broken and unbroken cobble rock is also evident.

Topography:

The land form is west facing of approximately 10% slope but is very uneven with a series of hummocks and depressions ranging from 10 to 30 foot depth. There are no water courses on the property but small amounts of water (less than 12 inches) are contained in the depressions; from recent heavy rain fall.

Vegetation and wildlife:

Willow and cattails are growing in the bottom of low lying depressions. Spruce, pine and aspen found in hummocks, 60% old growth and 40% new growth. Some evidence of recent use by deer and moose is present.

Improvements Sewerage : *(Surface based evidence only)*

Building A- Fire damaged, unlivable plumbing piping leads to small rock pit, no tank or field.

Building B- Has a bathroom, older tank and field that is functioning but has not been updated to present manual standards.

Building C-unoccupied older building, old outhouse east of building- no sewerage system.

Extended site proposal:

Owner has intentions to replace the existing structures with two newer buildings utilizing both ends of the property.

Declaration:

These notes are from inspection carried out on November 25/2021 and December 3/2021 to confirm property improvements and conditions. These records and specifications are consistent with standard practice with regard to the Sewerage System Regulation and the Sewerage System Standard Practices Manual of the B.C. Ministry of Health. I have conducted a site evaluation and exercised due diligence.

Eckard F. Mendel OWO #295

Registered Onsite Wastewater Practitioner #295

Home [REDACTED]

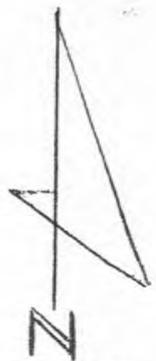
Email: emendel@hotmail.com



SEWAGE INFORMATION MAP.

LOT 3 SECT 11 TP 1A R5 CD PL 4130

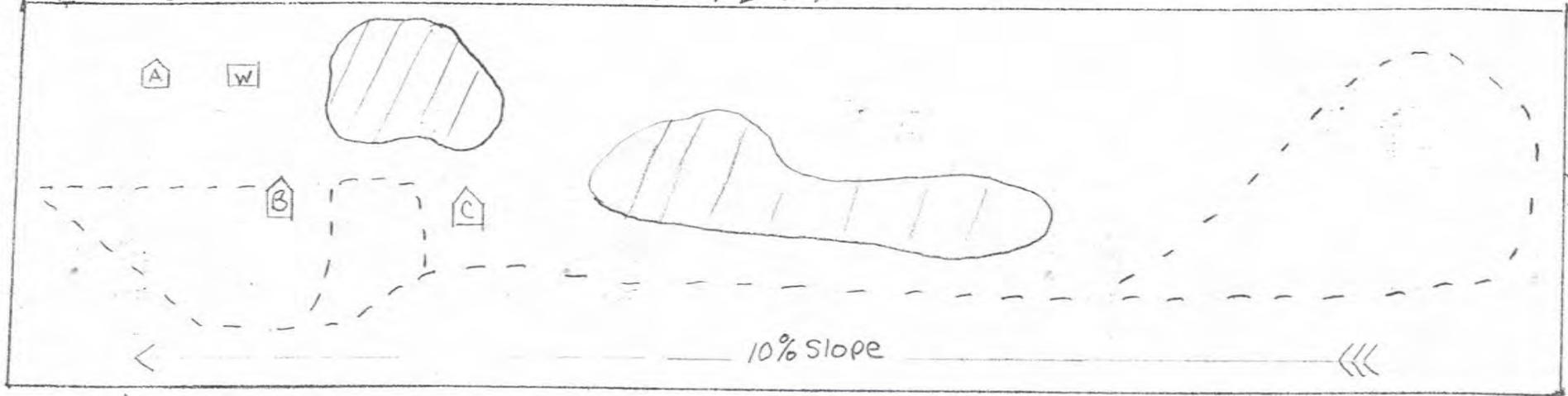
8.69 ACRES 5024 LAUGHLIN ROAD.



E.F.M.
SCALE: 125' = 1" CH
DEC. 1 2021

1261.72 FT

LAUGHLIN ROAD ↑



road - - - - -
depression (///)
well W

house A, 1428 sqft, no surface evidence of sewer system, fire damage.
house B, 1265 sqft, single story log house, old sewer tank, evidence of field nearby
house C, 1325 sqft, rock wall basement, top of knoll.





REGIONAL DISTRICT OF BULKLEY-NECHAKO
BYLAW NO. 1969

A Bylaw to Amend “Regional District of Bulkley-Nechako Zoning Bylaw No. 1800, 2020”

The Board of the Regional District of Bulkley-Nechako in open meeting enacts as follows:

That “Regional District of Bulkley-Nechako Zoning Bylaw No. 1800, 2020” be amended such that the following land is rezoned from the “Small Holdings (H1)” Zone to the “Small Holdings – Additional Dwelling (H1A)” Zone.

Lot 3, Section 11, Township 1A, Range 5, Coast District, Plan 4130 as shown on Schedule “A”, which is incorporated in and forms part of this bylaw.

This bylaw may be cited as the “Regional District of Bulkley-Nechako Rezoning Bylaw No. 1969, 2022”.

READ A FIRST TIME this ____ day of ____, 2022

READ A SECOND TIME this ____ day of ____, 2022

PUBLIC HEARING HELD this ____ day of ____, 2022

READ A THIRD TIME this ____ day of ____, 2022

I hereby certify that the foregoing is a true and correct copy of “Regional District of Bulkley-Nechako Rezoning Bylaw No. 1969, 2022”.

DATED AT BURNS LAKE this ____ day of ____, 2022

Corporate Administrator

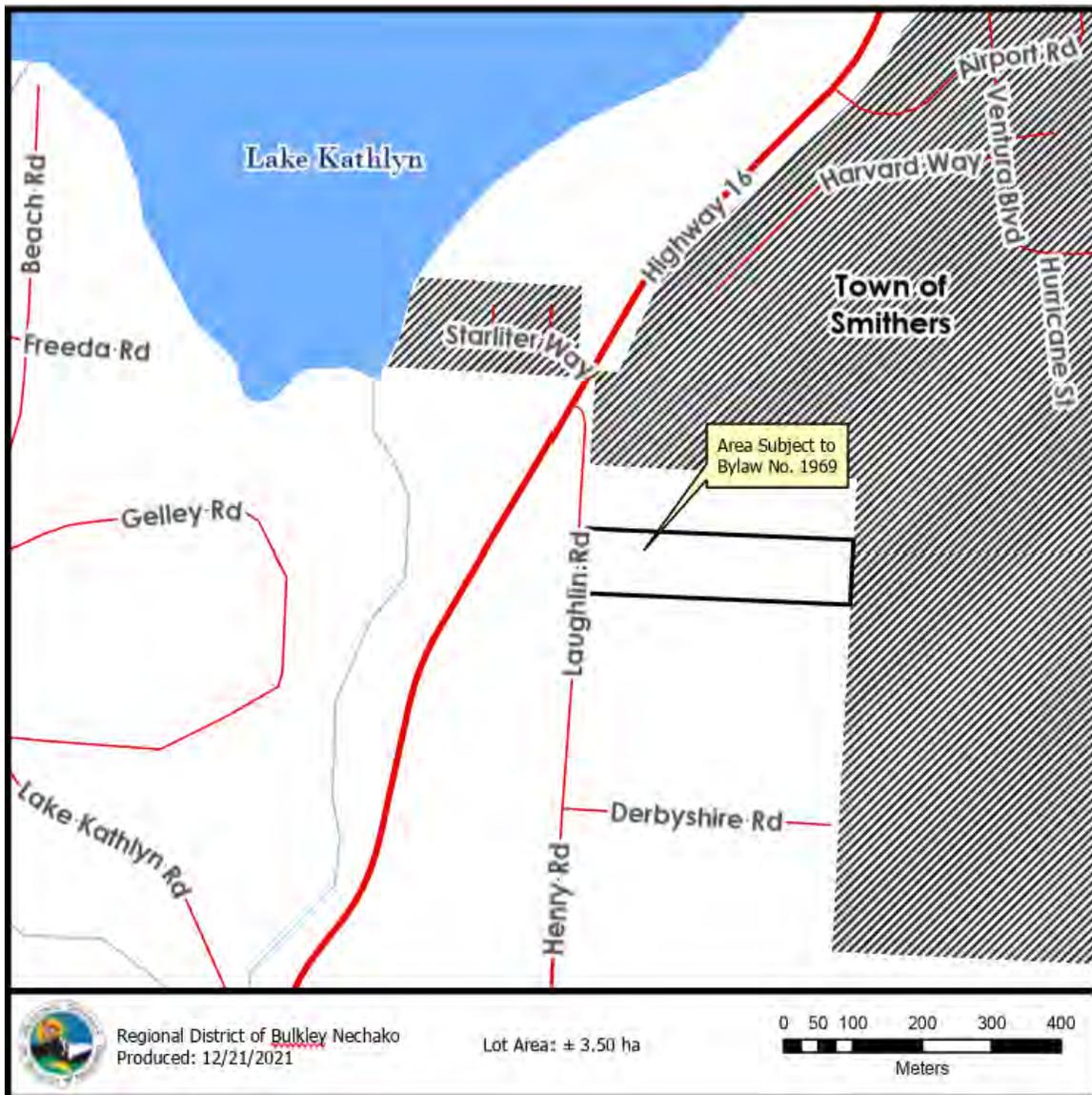
Approved pursuant to section 52(3)(a) of the *Transportation Act*
this ____ day of _____, 20____

for Minister of Transportation & Infrastructure

ADOPTED this ____ day of ____, 2022

Chairperson

Corporate Administrator

SCHEDULE "A" BYLAW NO. 1969

Lot 3, Section 11, Township 1A, Range 5, Coast District, Plan 4130, comprising ± 3.50 ha, rezoned from the "Small Holdings (H1)" Zone to the "Small Holdings – Additional Dwelling (H1A)" Zone.

I hereby certify that this is Schedule "A" of Bylaw No. 1969, 2022.

Corporate Administrator

**REGIONAL DISTRICT OF BULKLEY-NECHAKO****STAFF REPORT**

TO: Chair Thiessen and Board of Directors
FROM: Danielle Patterson, Senior Planner
DATE: January 27, 2022
SUBJECT: Temporary Use Permit Application TUP A-01-21

RECOMMENDATION

1. That the Board approve the issuance of Temporary Use Permit TUP A-01-21 to allow a temporary expansion of “True North Raw,” a raw pet food and prepackaged meat business.
2. That the Board direct staff to issue the permit, when staff have received either:
 - a. a copy of an approved Commercial Access Highway Use Permit for the commercial business from Ministry of Transportation and Infrastructure, or
 - b. written confirmation from the Ministry of Transportation and Infrastructure that Commercial Access Highway Use Permit is not required for the commercial business.

VOTING

All / Directors / Majority

EXECUTIVE SUMMARY

The proposed Temporary Use Permit (TUP) will allow the operation of a raw pet food manufacturing and meat delivery business called “True North Raw” on the subject property for a period of three years. The proposal includes the use of temporary buildings and structures.

Planning Department staff do not foresee the proposal will have any notable negative impact on the character of the area or the subject property. Therefore, staff recommend Temporary Use Permit A-01-21 be approved.

APPLICATION SUMMARY

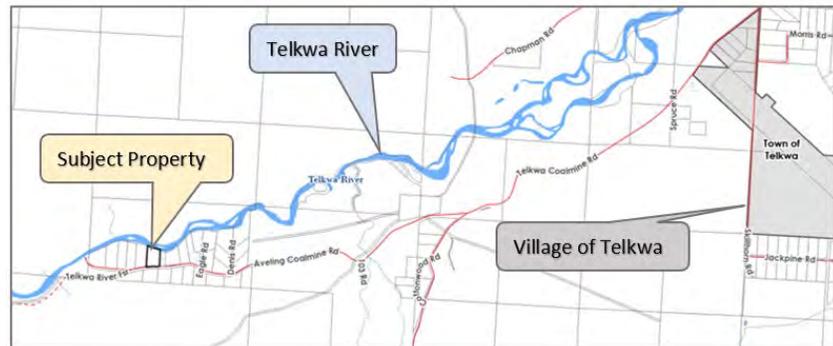
Name of Agent:	Kent Prochnicki
Name of Owner:	Stevan Prochnicki, DBA True North Raw
Electoral Area:	A
Subject Property:	Lot C, District Lot 221, Range 5, Coast District, Plan PRP 14427
Property Size:	2.40 ha (5.94 ac)
OCP Designation:	Rural Residential (RR) in the Smithers Telkwa Rural Official Community Plan 1704, 2014
Zoning:	Small Holdings (H1) Zone in Regional District of Bulkley-Nechako Zoning Bylaw No. 1800, 2020
ALR Status:	Not within the ALR
Existing Land Use:	Residential Use and Home Occupation
Location:	2220 Aveling Coalmine Road, approximately 5.5 km southwest of the Village of Telkwa

PROPOSAL

The applicant is requesting the issuance of a Temporary Use Permit (TUP) to allow the property owner to operate their business "True North Raw," which involves both the manufacturing and packaging of human grade raw pet food and a small-scale pre-packaged

bulk meat delivery business. The need for a TUP was triggered at the building permit review stage when the property owner submitted a building permit application for additional buildings/structures.

The application states the property owner would use a 3.66 m X 12.19 m or 44.6 m² (12 ft X 40 ft or 480 ft²) freezer for the storage of frozen food that is delivered to the subject property. The freezer would also store finished raw pet food that is ready to be delivered to retailers and customers. The property owner would also use a pre-existing 3 m X 15.85 m or 47.6 m² (10 ft x



52 ft or 520 ft²) workspace for preparing and processing food. The application proposes two “breezeway” buildings for the storage of finished food products (see attached application).



The raw pet food portion of the business involves the following:

- human grade meat is delivered to the subject property or picked up by the proponent.
- bones and meat are cut and ground into a paste mixture to make pet food, while pet treats are made of dehydrated meats and grains.
- the pet food and treats are packaged and stored in a freezer.
- frozen pet food is delivered to customers.
- a dehydrator, meat grinder, scuffer, band saw, and paste machine are used during the manufacturing process.

The bulk meat delivery for human consumption portion of the business involves:

- bulk prepackaged human grade meat is picked up by the proponent.
- the meat is stored in a freezer until it is resold and delivered to customers.
- no repackaging is involved in the process.

The largest share of the business is focused on the raw pet food business. The proposal does not include an on-site retail space or customer storefront. While all meat is human grade, the pet food and human food are stored in separate freezer spaces, as required by Northern Health regulations.

The owner-operator of the business resides on the subject property. The applicant states the property owner started True North Raw as a home occupation after losing their job because of the COVID-19 pandemic. As the business is outgrowing home occupations regulations, the property owner is seeking an appropriately zoned property to support their growing business and would like to continue using the subject property for their business in the meantime.

DISCUSSION

Temporary Use Permits Explained

A TUP allows a use not permitted by zoning to continue for up to three years, with the applicant able to request Board consideration of a permit renewal for a maximum of three more years. Once a TUP renewal expires, a new TUP application can be made to allow the use to continue.

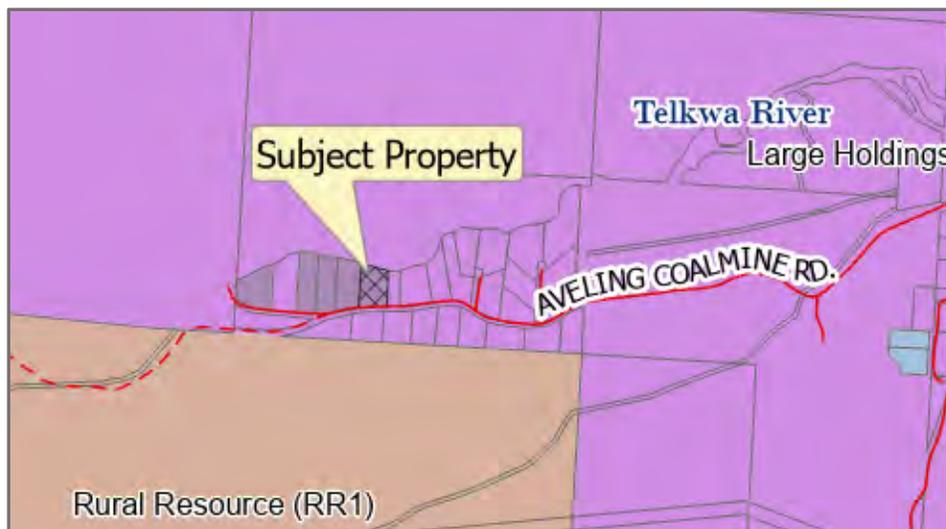
Official Community Plan and Zoning

The subject property is designated Rural Residential in the Smithers Telkwa Rural OCP (the OCP) and zoned Small Holdings (H1) in the RDBN Zoning Bylaw No. 1800, 2020. The Rural Residential designation is intended to provide opportunities for people to live in a rural setting while protecting and preserving the rural character of the area.

Section 6.2 of the OCP allows for the issuance of a TUP “*under the following circumstances:*”

- (a) *The proposed temporary use will not create an amount of traffic that will adversely affect the natural environment, or rural character of the area;*
- (b) *The environment would not be negatively affected by the proposed temporary use.*
- (c) *The proposed temporary use will not have adverse effects on neighbouring land uses or property owners.*
- (d) *The applicant has provided, for consideration as part of the application process, a decommissioning and reclamation plan, if the temporary use requires a significant amount of capital investment in a particular location, or otherwise results in the need for site reclamation.*
- (e) *The need for security in the form of an irrevocable letter of credit with an automatic extension clause has been considered to ensure that required decommissioning and reclamation is completed.*
- (f) *The proposed temporary use has the support of the Agricultural Land Commission if the land is within the Agricultural Land Reserve (ALR).”*

Zoning Map



The subject property is located near the Telkwa River FSR and would involve four employees and delivery trucks coming to the subject property. The proposal site is previously cleared lands, set back from the road, behind a treed area. The applicant’s garbage and cardboard removed every

two weeks. The applicant noted the pet food making process creates no waste and stated at the Advisory Planning Commission meeting that there are no issues with animal attractants.

The proposal includes buildings and structures (including the freezer) that can be removed from their property once the property owner finds a more permanent site for their business operations. The applicant has been made aware that a Building Permit Inspection is required for the buildings and the proposed breezeway.

Staff do not foresee a need for an irrevocable letter of credit for securing a three-year TUP as the applicant provided a decommissioning plan which involves removing the structures to a new property once the work is complete. The site where the buildings are proposed was previously clear/used as parking. There is also potential for the property owner to convert the buildings to accessory uses at the end of the three-year term while still complying with zoning regulations.

The Approval Process

Notice of this application will be published in the Interior News newspaper in Smithers and the RDBN website informing the public of the time and location of the Board's consideration of the application, and their ability to provide input to the Board in writing.

Property owners and tenants within 100 metres of the subject property were sent a similar notice. A sign must be placed on the property at least 10 days before the Board considers the permit. Comments received from the public or referral agencies will be presented to the Board for consideration.

Planning Departments Comments

As the temporary use is for commercial purposes, staff have informed the applicant they may require a Commercial Access Highway Use Permit from the Ministry of Transportation and Infrastructure (MoTI) and requested the applicant submit written confirmation from MoTI that a Commercial Highway Use Permit is not required, or a copy of an approved MoTI Commercial Access Highway Use Permit.

Planning Department staff do not believe that the proposed temporary use will have any notable negative impact on the character of the area or the subject property. Therefore, it is recommended that Temporary Use Permit A-01-21 be approved, subject to the conditions outlined in attached permit.

REFERRAL COMMENTS

Electoral Area A Advisory Planning Commission: supported the application.

Northern Health: No comments received as of the writing of this report.

Village of Telkwa: *"Village of Telkwa Council do not foresee that there would be a negative impact to the Village of Telkwa at this time. Village of Telkwa Council would appreciate receiving a further*

Government Agency Referral Form in relation to this file in the event that an extension of the Temporary Use Permit for an addition three years at the expiration of this Temporary Use Permit (if approved) is sought, as Telkwa Council will be in a better position to provide comments, if any, at that time.”

Ministry of Agriculture, Food and Fisheries: No comments received as of the writing of this report.

RDBN Regional Agriculture Coordinator – West: Stated that while they is not familiar with the human-grade food part of the business, they were aware of the pre-existence of the pet food company. Recommends approval of the permit *“as it contributes to the overall health of the local economy”*.

ATTACHMENTS

- Application
- Temporary Use Permit A-01-21

The home based pet food business started a few years ago.

The raw pet food business consists of using human grade beef, chicken, fish, vegetables, turkey, duck, and pork with using local services as much as possible. Bones are cut and ground into a paste mixture. Product is mixed and put into packages and froze individually for clients according to their needs. The proposed activities would be processing raw pet food and treats.

There is no waste, everything is used. Treats consist of dehydrating beef liver, chicken and oats. Any product waste is minimal down the sink into an existing septic system. There have been no issues with septic.

Human food grade raw meat products are shipped by Bandstra and Clark to Smithers. Bandstra delivers to the Telkwa property. Clark deliveries are picked up in Smithers.

Waste Management disposal picks up every 2 weeks, of cardboard and household garbage. There are no bear attractants. All products are stored in freezers inside and in a secure location. The property is fenced with a driveway gate.

There is no store on site for customers. Everything is delivered directly to the customer locally, to Prince George and Prince Rupert. Local product is picked up from various farmers.

The 4 workers are part time, not all at the same day. Plenty of on-site property parking is provided. There is no parking on the road necessary.

The business/property owner, Stevan Prochnicki, was let go from a full time job at Canfor in March 2019. During the Covid-19 shutdown in 2020 he was able to continue deliveries to clients as it was deemed an essential service providing food for pets.

With the increase of clients including Save On Foods, the home occupation has outgrown the personal home space. Due to having outgrown the current home occupation situation the business equipment needs to relocate to the temporary buildings. The planned temporary usage estimate is 3 years. In addition to the transportable office/freezer units, it would include 2 separate 8X24 ft. transportable structures used for breezeway/storage between the office workspace and freezer unit. The next temporary step would be to have additional office/freezer space of approx. 1200 sq/ft. After that the business would looking for property with 3 phase power and closer to a transportation hub.

All buildings are transportable, no concrete structures.

BC Health permit was issued in 2021 for human food product resale to the public. This is a very small percentage of the business. There is no processing of the human grade food for human sales, as it comes packaged and is just resold in original packaging.

A business licence is active with Village of Telkwa.

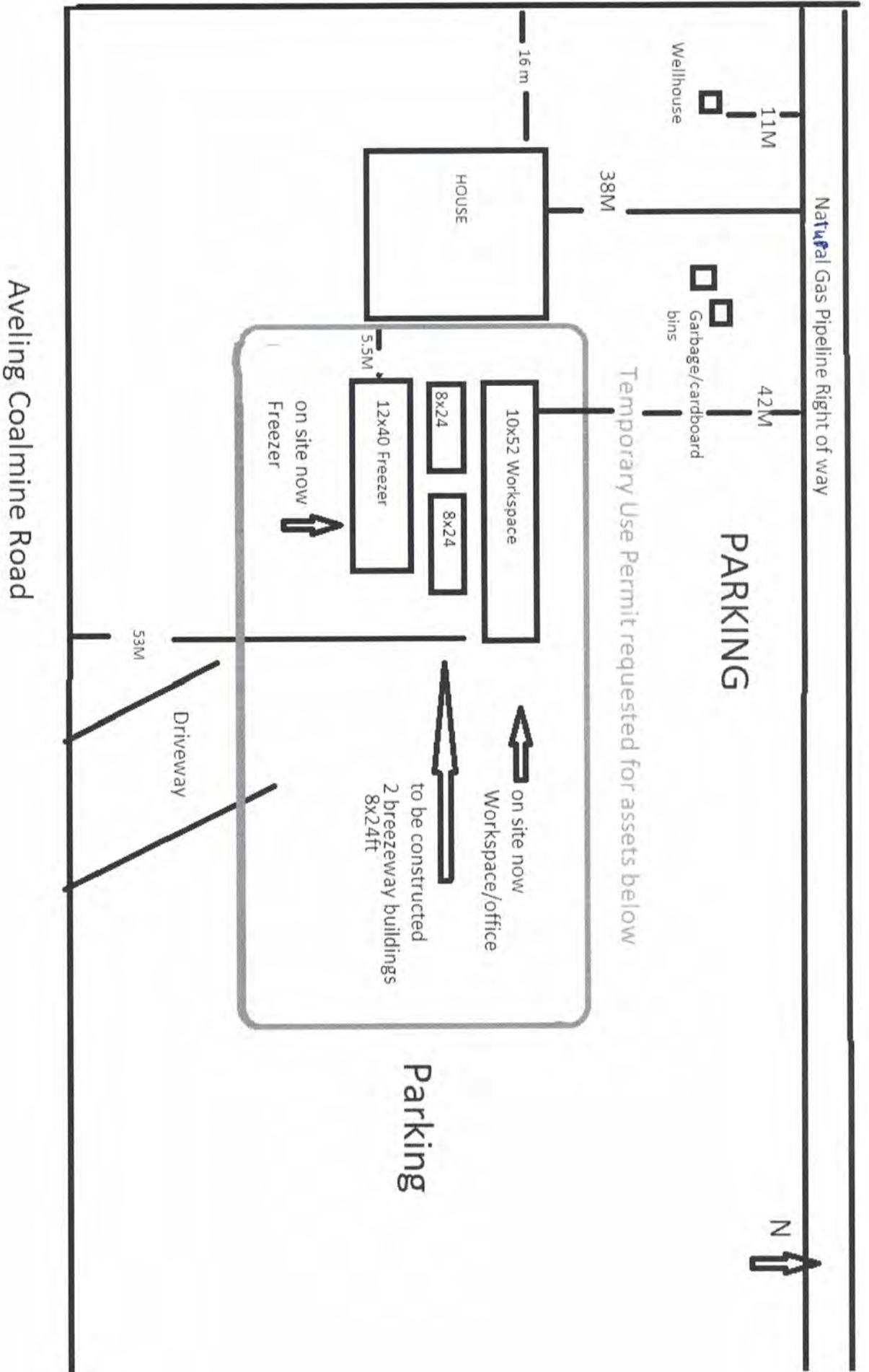
We believe that with 4 workers at present, increased clients and increased volume of orders, that the next few years will be critical to the business.

In conclusion, we would like to apply for a temporary use permit under Light Manufacturing/Food Processing/Warehousing.

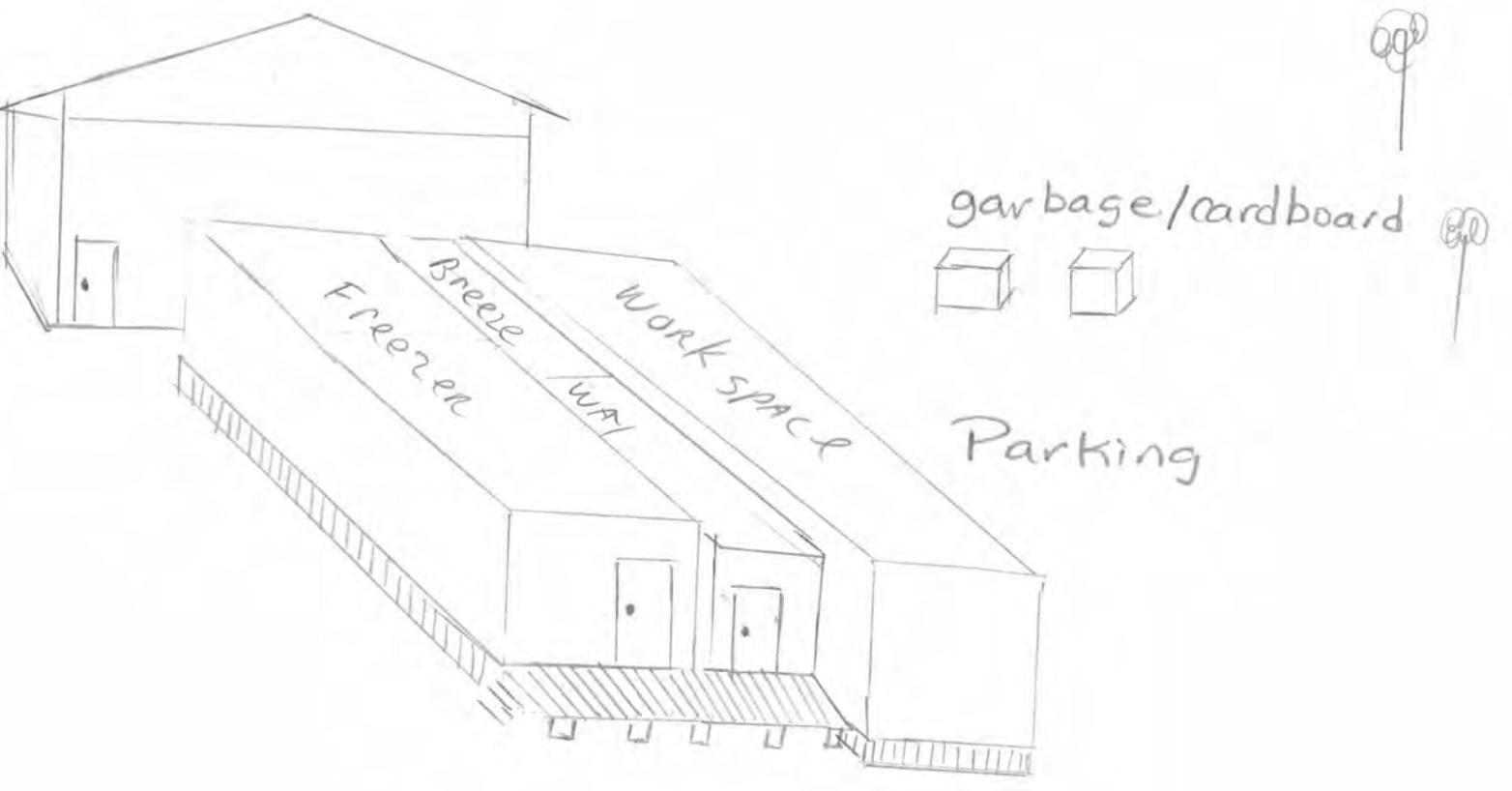
Amendment to Temp Permit 2220 Aveling Coalmine Road

Additional information requested.

1. Multiple charges on Title – sent to you Dec 8, 2021
2. Are there benefits to the temporary use for you, the property owner, or broader community?
 - To allow the owner time to grow his business and create revenue as it's his only source of income.
 - To be able to continue to provide local deliver service from the property to the customers which include neighbouring properties.
 - Part and full time employment for local residents.
 - Donations to the local Northwest Animal Shelter, from a percentage of profits on select sales.
 - Healthy food choice for pet owners in Northwest BC from Prince Rupert to Prince George.
3. Your application mentions the buildings are “transportable. No concrete structures”. Can you describe in more detail what kind of bases the buildings are on and what impact they will or won't have on the property once they are removed?
 - The buildings are on treated wood blocks with no impact on the environment. Upon removal the blocking will be transported with the buildings.
4. We are requesting a 3 year temp permit.
5. The Ministry of Transportation and Infrastructure highway permit is in progress.
6. A new site plan is attached.
 - a) PNG right of way. All buildings, current house, well house and temp buildings are not on the PNG Natural Gas right of way which is located between the well structure and river.
 - a) Document TJ11295 No buildings within 30 m of the Telkwa River. The structures are 122 m away from the Telkwa River and more than 3 m above the level of the Telkwa River.
 - b) See attached site plan – Uses of buildings are v.) 12x40 ft. freezer is used to store frozen food delivered and finished products to be delivered to customers. 10x52 ft. work space is for preparing and processing the product. The 2 proposed breezeway buildings 8x24 ft. each will be used for storage and finished product. vii) The breezeway buildings will be located between the 10x52 work space building and the 12x40 freezer building.
7. See attached
8. Photos of the site were emailed Dec.9/21



Aveling Coalmine Road









**REGIONAL DISTRICT OF BULKLEY-NECHAKO
TEMPORARY USE PERMIT NO. TUP A-01-21**

ISSUED TO: Stevan Prochnicki
2220 Aveling Coalmine Road
Telkwa, BC V0J 2X3

WITH RESPECT TO THE FOLLOWING LANDS:

2220 Aveling Coalmine Road, legally described as Lot C District Lot 221 Range 5 Coast District Plan PRP14427 (the "Lands")

1. This Temporary Use Permit authorizes the following temporary use:

The year-round operation of a commercial business that manufactures, packages, stores, and delivers both frozen and dehydrated human grade raw pet food and stores and delivers pre-packaged bulk meats for human consumption, as shown on the site plan attached as Schedule A to this permit.

2. The Permit Holder is required to comply with the following permit conditions:

- a. All buildings and structures associated with the temporary use must be removed from the property within two (2) months from the date of the expiration of this permit, or within two (2) months of this permit becoming void.
- b. The buildings and structures associated with the temporary use, excluding the waste disposal and cardboard recycling area, shall be generally located within the boundaries of the Business Homeplate shown in Schedule A of this permit.
- c. Parking is provided at a rate of 1 (one) space per 150 m² (1,615 ft²) of Gross Floor Area of buildings and structures associated with the temporary use.
- d. Off-street loading will comply with the requirements of Section 29.0.2 of Regional District of Bulkley-Nechako Zoning Bylaw No. 1800, 2020.
- e. The temporary use will be operated in a manner that in no way attracts wildlife.
- f. The property owner shall continue to reside on the lands for the duration of the temporary use.
- g. No more than four (4) full-time equivalent employees may work on the lands. The property owner shall not be included in the calculation of full-time equivalent employees.

3. This Permit authorizes the temporary use identified in Section 1 of this Permit to occur only for a term of three (3) years from the date of issuance of this permit.

4. The temporary use identified in Section 1 may occur only in substantial accordance with the terms and provisions of this permit and the plans and specifications attached hereto as Schedule A. If a term or provision of this permit is contravened or not met, or if the property owner suffers or permits any act or thing to be done in contravention of or in violation of any term or provision of this permit, or refuses, omits, or neglects to fulfil, observe, carry out or perform any duty, obligation, matter or thing prescribed or imposed or required by this permit the property owner is in default of this permit, and the permit shall be void and of no use or effect.

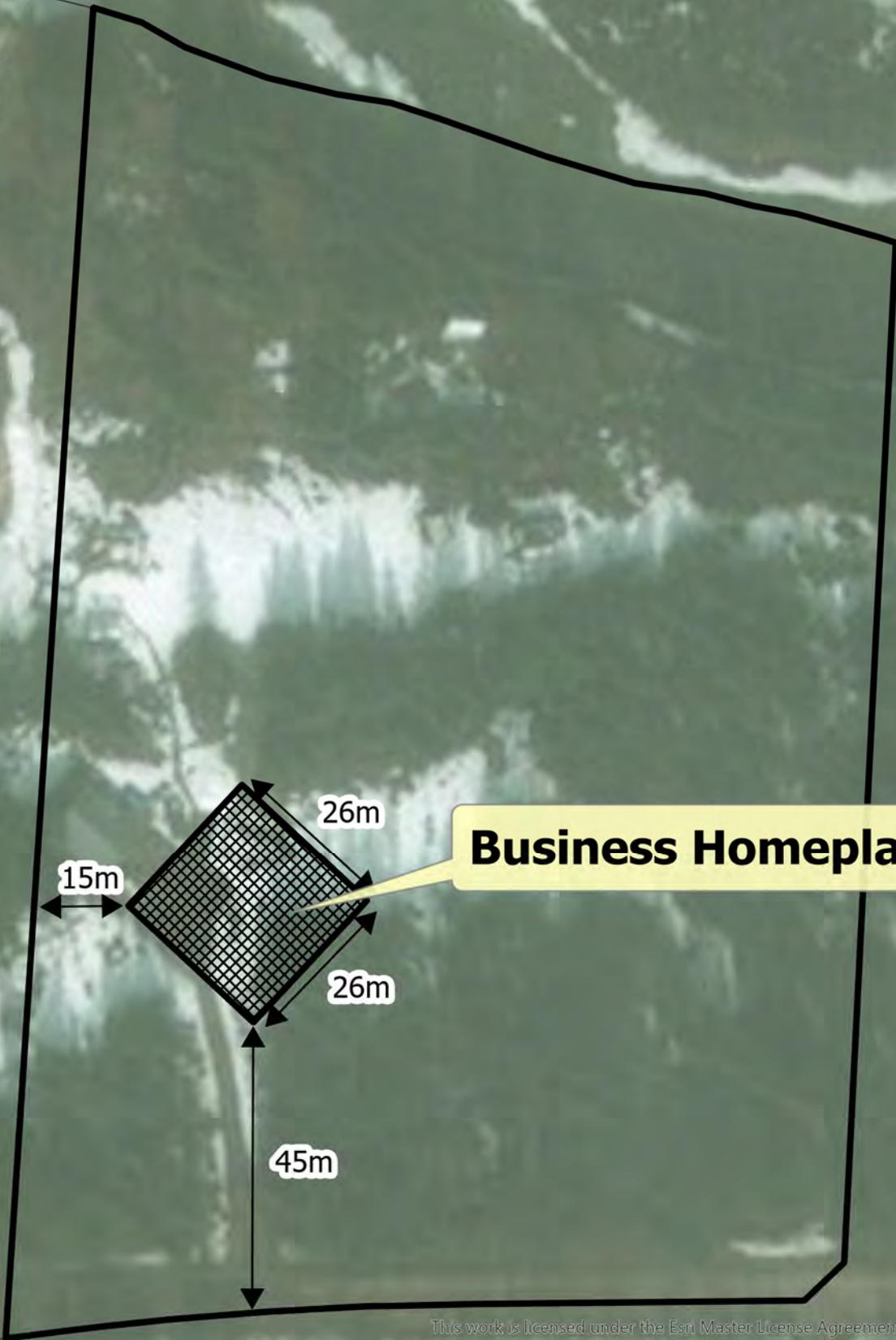
5. This permit is not a building permit, nor does it relieve the owner or occupier from compliance with all other bylaws of the Regional District of Bulkley-Nechako applicable thereto, except as specifically varied or supplemented by this permit.

AUTHORIZING RESOLUTION passed by the Regional District Board
this ___ day of _____, 2022

PERMIT ISSUED on the ___ day of _____, 2022.

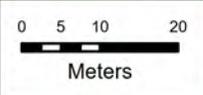
Corporate Administrator

60



Business Homeplate

This work is licensed under the Esri Master License Agreement. View Summary |
 View Terms of Use. Export: This layer is not intended to be used to export tiles
 for offline. Data Collection and Editing: This layer may be used in various ArcGIS
 apps to support data collection and editing, with the results used internally or
 shared with others, as described for these use cases.



Path: R:\GIS\c_GIS_Projects\Projects\Projects-2022\TUP\A-01-21\TUPa-01-21.aprx



Schedule A: TUP A-01-21

 Subject Property

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1/14/2022 2:35 PM
User: rowan.nagel



REGIONAL DISTRICT OF BULKLEY-NECHAKO
STAFF REPORT

TO: Chair Thiessen and Board of Directors
FROM: Jason Llewellyn, Director of Planning
DATE: January 27, 2022
SUBJECT: Subdivision/Non-Farm Use Application No. 1234

RECOMMENDATION

That Agricultural Land Reserve Non-Farm Use Application No. 1234 be recommended to the Agricultural Land Commission for approval.

VOTING

All Directors / Majority

EXECUTIVE SUMMARY

This application is requesting Agricultural Land Commission (ALC) approval for the following:

1. the subdivision of the subject property into 2 - 8 ha lots as shown on the attached map.
2. the acceptance of stormwater from a proposed 77- lot subdivision on an adjacent property call "Blissful Grove" on the subject property.

The applicant has indicated that they do not wish to accept this drainage on their land if they are not permitted to subdivide as proposed and sell lot B. The applicant states that their intent is to sell Lot B to the developer of the Blissful Grove subdivision. The Blissful Grove development is not in the ALR.

Planning Department staff do not anticipate that the proposed subdivision and acceptance of the drainage will impact the agricultural capacity of the property or negatively impact agriculture in the surrounding area.

APPLICATION SUMMARY

Name of Agent/Owner:	Mark Drydyk
Electoral Area:	A
Subject Property:	5650 Tyhee Road (Block B of Section 35 Township 5 Range 5 Coast District Except Plan 7951)
Property Size:	± 16.57 ha (40.97 acres)
OCP Designation:	Agriculture (AG) in Smithers Telkwa Rural Official Community Plan Bylaw No. 1704, 2014
Zoning:	Large Holdings (H2) in Regional District of Bulkley-Nechako Zoning Bylaw 1800, 2020
Existing Land Use:	Residential
Location:	The subject property is a panhandle lot connecting to Hubert Street in the Village of Telkwa to the south. The primary access to the house on the property is from Tyhee Road over an easement on title of the property to the west.

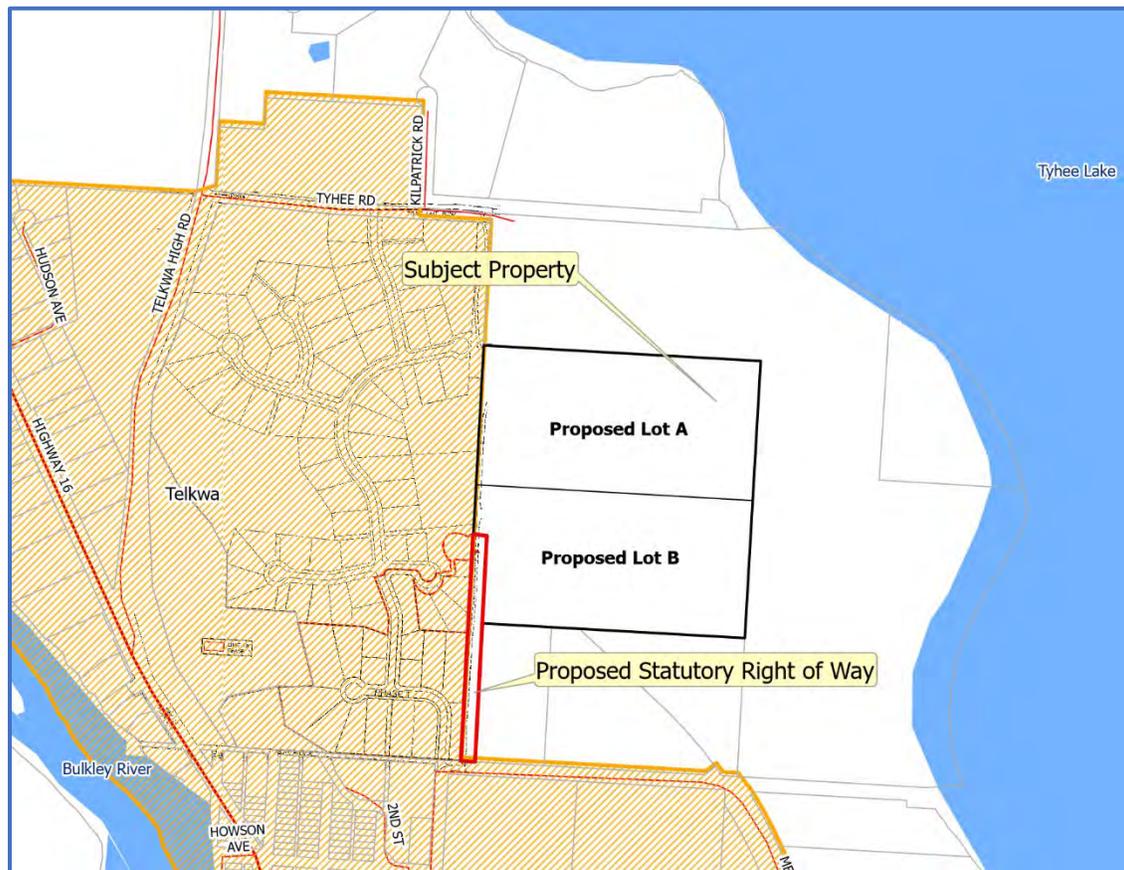
Proposed Subdivision

The purpose of this application is to allow the subdivision of the subject property into 2 - 8 ha lots as shown on the following map. Proposed Lot A would consist of the applicant's dwelling and accessory buildings, and Proposed Lot B would be vacant and would include a panhandle access to Hubert Street.

Proposed Acceptance of Stormwater

The application is also seeking ALC approval to allow the subject property to accept stormwater from a proposed 77- lot subdivision on an adjacent property called "Blissful Grove." The applicant has indicated that they do not wish to accept this drainage on their land if they are not permitted to subdivide as proposed and sell lot B. The applicant states that their intent is to sell Lot B to the developer of the Blissful Grove subdivision. The Blissful Grove development is not in the ALR.

The applicant's information provided in support of their application is attached. Subdivision of Phase 1 of the Blissful Grove development is subject to several requirements including confirmation that the stormwater runoff from the development can be directed onto proposed Lot B of the subject property and the establishment of a statutory right of way accessing the stormwater infrastructure.



DISCUSSION

Official Community Plan (OCP)

The Subject Property is designated Agriculture (AG) under the Smithers Telkwa Rural OCP. Section 3.1.2 (6) of the OCP states that applications for subdivisions within the ALR may only be considered under the following circumstances.

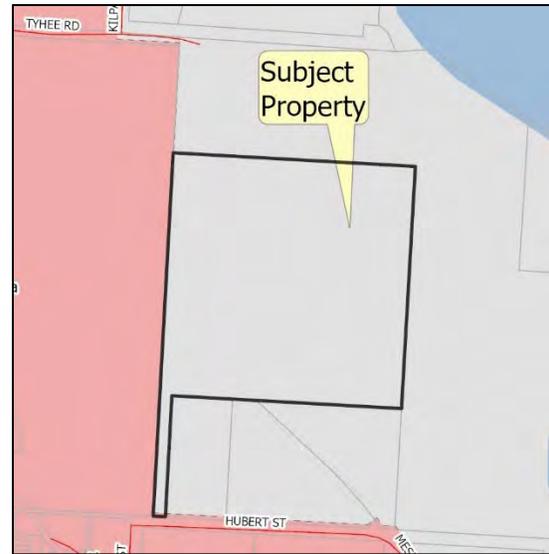
- (a) *There is limited agricultural potential within the proposed area.*
- (b) *Soil conditions are not suitable for agriculture.*
- (c) *Neighbouring uses will not be compromised.*
- (d) *Adequate provisions for fencing are provided, where a proposed development is adjacent to an existing agricultural use.*
- (e) *The application is in the best interest of the community.*
- (f) *The proposed development considers and addresses potential impacts and potential improvements to recreational features and the environment, including wildlife habitat.*
- (g) *And, traffic management issues will be considered and addressed appropriately.*

Zoning

The subject property is zoned Large Holding (H2). The minimum parcel area that can be created by subdivision is 8 ha. Therefore, if approved by the ALC the proposal does not require an application for rezoning.

Land Use and Agriculture Capability

The subject property is located adjacent to the Village of Telkwa, Tyhee Provincial Park and residential acreages. The applicant states that they use the subject property for residential purposes and have a small hobby farm.



According to the Canada Land Inventory (CLI) the agriculture potential of the property has moderate capability consisting of a mix of Class 3 and 4 soils. Soils in these classes have moderately severe limitations that restrict the range of crops or require special conservation practices. Class 3 lands are considered prime lands in the Bulkley Valley.

Village of Telkwa Subdivision

The developer of the Blissful Grove subdivision is proposing to direct stormwater overflow from their development (for storms greater than a 1 in 100 year event) onto the subject property. This includes the upgrading of a culvert on the subject property which is connected to a stormwater overflow weir within the Blissful Grove development. The Village of Telkwa is also requesting a Statutory Right-Of-Way (SROW) over the driveway of the subject property to access the stormwater infrastructure in the Village, as shown on the map below.

The developer of the proposed Blissful Grove subdivision has begun grading and construction of infrastructure for phase 1 of the subdivision. The location of the stormwater retention area and overflow channel leading to the subject property appears to be a natural low-lying area and drainage from the Village lands appears to have historically entered the subject property.

Planning Department Comments

The Planning Department expects that the Village of Telkwa subdivision approval process will ensure that the Blissful Grove stormwater drainage plan is done in accordance with good engineering practice and will not have an unacceptable negative impact on the subject property. Planning Department staff have no reason to believe that the proposed drainage will impact the agricultural capacity of the property.

Referral Comments

The Village of Telkwa has provided the attached letter requesting that the Agricultural Land Commission approve the application to subdivide the subject property.

The Electoral Area A Advisory Planning Commission recommended that the application be approved.

RDBN Agriculture Coordinator (West) comments are as follows:

Regarding the ALR 1234 Referral Report, my only comment was that there are multiple land-uses either already taking place (i.e., recreational activities in and around Tyhee Lake) or proposed (i.e., the proposed subdivision) which increases potential pressure on producers farming on this parcel of ALR land with respect to maintaining good neighbour relationships. If the existing parcel were to be subdivided, the potential for conflicts between farm-landowners and non-farm landowners would likely increase.

The Ministry of Agriculture, Food and Fisheries provided the attached letter which raises concerns with the application.

ATTACHMENTS

Appendix A – Agricultural Capability

Appendix B – Surrounding ALR Applications

Village of Telkwa Referral Comments

Ministry of Agriculture, Food and Fisheries Referral Comments

Revised Application Receipt Letter

Proposal submitted by applicant

APPENDIX A

Agricultural Capability based on Canada Land Inventory Mapping

70% of the subject property is Class 3 land limited by cumulative effect of two or more adverse characteristics.

30% of the subject property is Class 4 land limited by stoniness, and topography.

Class 3 soils have moderately severe limitations that restrict the range of crops or require special conservation practices and limited by a cumulative effect of two or more adverse characteristics.

Class 4 soils have severe limitations that restrict the range of crops or require special conservation practices.

Agricultural Capability Map

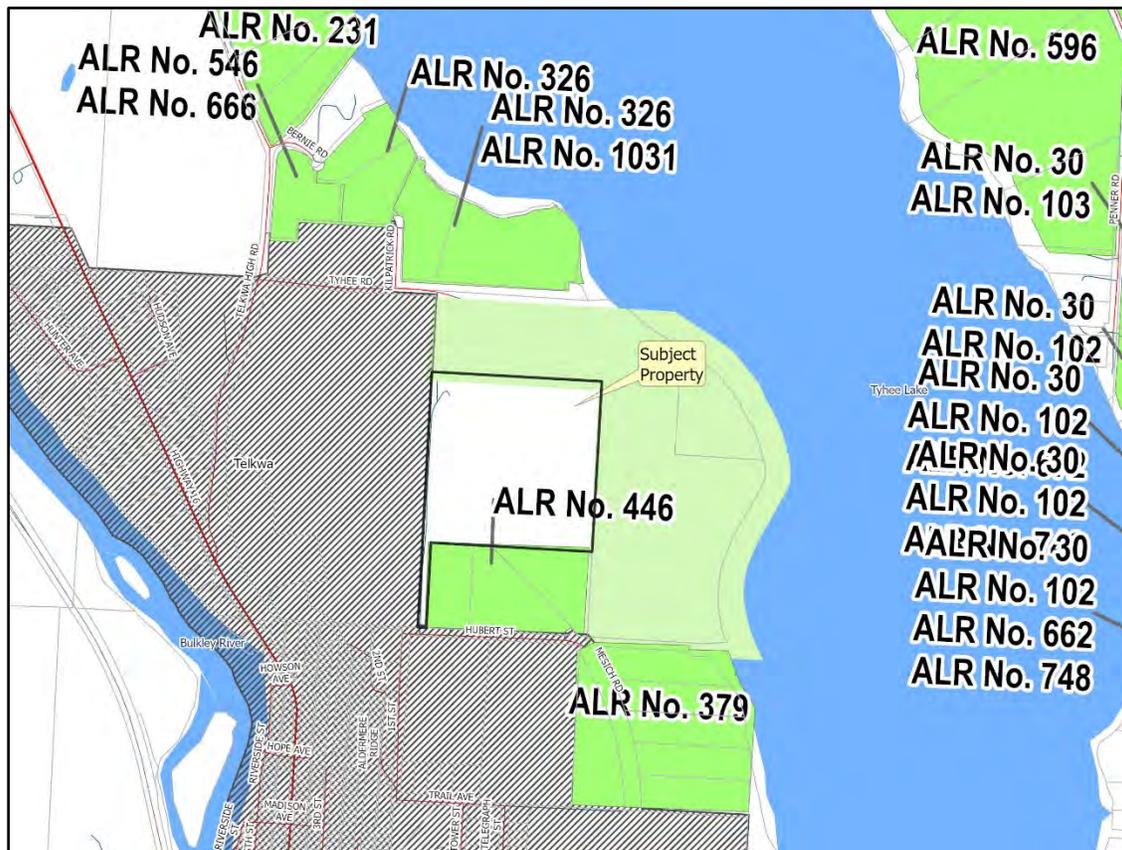


APPENDIX B:

Surrounding Applications

ALR Application	Legal Description	Summary	Recommendation Staff Board ALC
446	Lot 1, Section 35, Township 5, Range 5, Coast District, Plan 7951	Application to subdivide 7.65 ha. into a total of three parcels of 2± ha.	Approval
			Approval
			Approved
379	Fract. E 1/2 of the the N1/2 of the SE1/4 Section 35, Township 5, Range 5, Coast District	Application to subdivide 38 acres into six parcels, which would create two parcels of 2.4 h, three parcels of 2.02 ha, and one parcel of 2.45 ha.	Approval
			Approval
			Approved
326	Amended Parcel "A", Ex. Plan 7760, except Plan 9185, Section 2, Township 4, Range	Application for additional 2 ha. and one ± 4 ha. lot to be subdivided from the property. The proposed subdivision will result in a total of three lots of ± 2 ha. each, one lot of ± 4 ha. and the remainder of ± 9 ha.	Approval
			Approval
			Approved

Surrounding Applications Map



**GOVERNMENT AGENCY REFERRAL FORM****Non-Farm Use Application No. 1234**

- Approval Recommended for Reasons Outlined Below
 Interests Unaffected by the Bylaw
 Approval Recommended Subject to Conditions Below
 Approval Not Recommended Due to Reasons Outlined Below
 No Objections

The Village of Telkwa supports this proposed subdivision immediately adjacent to the Village boundary to create a second residential lot with a hobby farm. This appears to be an appropriate use of the land, and it helps to create much-needed housing for the region.

Regarding the proposed residential development of the adjacent property within the Village (Blissful Grove), the developer's engineer has satisfied the Village's Approving Officer that the drainage design meets the requirements of the Village of Telkwa Subdivision and Development Servicing Bylaw and does not affect the subject property, however a statutory right of way over the panhandle driveway of the subject property is required prior to final approval of the Blissful Grove subdivision.

A Certified Resolution from the Village of Telkwa Council is attached.

Signed by:  Lev Hartfeil Title: Director of Operations

Regional District of Bulkley-Nechako
37 3rd Ave, PO Box 820
Burns Lake, BC V0J 1E0
250-692-3195



Village of Telkwa, PO Box 220, Telkwa, BC V0J 2X0
(250) 846-5212 • info@telkwa.ca • www.telkwa.ca

WHERE RIVERS MEET AND FRIENDS GATHER

December 7, 2021

Jason Llewellyn
Director of Planning
Regional District of Bulkley-Nechako
PO Box 820
Burns Lake, BC V0J 1E0
Emailed to: jason.llewellyn@rdbn.bc.ca

Re: Application No. ALR 1234
Block B of Section 35 Township 5 Range 5 Coast District Except Plan 7951

Dear Jason Llewellyn,

At the December 4, 2021 Special Meeting of Council, the Village of Telkwa Council made a resolution in support of the application no. ALR 1234 (Block B of Section 35 Township 5 Range 5 Coast District Except Plan 7951) requesting the Agricultural Land Commission approval to subdivide the subject property.

Please find attached the completed referral form and certified resolution.

Sincerely,

A handwritten signature in blue ink, appearing to read "Megan Glover".

Megan Glover
Executive Assistant

Enclosures.

c.c. Lev Hartfeil, Director of Operations
directorofoperations@telkwa.ca

Daneve Vanderwolf, Planning Technician/Regional Transit Coordinator
deneve.vanderwolf@rdbn.bc.ca



December 7, 2021

RE: GOVERNMENT AGENCY REFERRAL – APPLICATION NO: ALR 1234

At the December 4, 2021 Special Meeting of Council, the following resolution was passed:

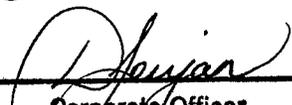
SM Res. 21-12-010

THAT Ltr 1059 from the Regional District of Bulkley-Nechako regarding Government Agency Referral Form – Application No. ALR: 1234, be received; **AND THAT** Council supports this application requesting Agricultural Land Commission approval to subdivide the subject property located at 5650 Tyhee Road with additional access from Hubert Street, adjacent to the Village of Telkwa (Block B of Section 35 Township 5 Coast District Except Plan 7951). **CARRIED**

I, Debbie Joujan, Chief Administrative Officer/Corporate Officer, CMC, for the Corporation of the Village of Telkwa, hereby confirm that the above is a certified true copy of said resolution of the Village of Telkwa Council.



Debbie Joujan
Chief Administrative Officer/
Corporate Officer, CMC

Certified a true copy of the
Village of Telkwa
Resolution No. 21-12-010
Dated this 7th day of
December, 2021


Corporate Officer
Village of Telkwa



Date: December 8, 2021

File: ALR 1234

Deneve Vanderwolf, Planner 1 /Regional Transit Coordinator
Planning Department
Regional District of Bulkley-Nechako

VIA EMAIL: Deneve.Vanderwolf@rdbn.bc.ca

Re: ALC Subdivision referral – 5650 Tyhee Road – revised proposal

Dear Deneve Vanderwolf,

Thank you for providing the Ministry of Agriculture, Food and Fisheries (Ministry) with the opportunity to comment on the revised Agricultural Land Commission (ALC) application to subdivide a parcel located on Tyhee Road adjacent to the Village of Telkwa. Ministry staff have reviewed and offer the following comments:

- As Ministry staff understand, the revised application continues to propose subdividing the parcel so as to sell the southern portion, potentially impacted by a proposed adjacent residential development, and continue farming the northern portion. The revised proposal also includes additional information regarding the proposed stormwater discharge details onto the subject Agricultural Land Reserve (ALR) parcel.
- Ministry staff provided comments, dated September 9, 2021, on the initial proposal. Those comments are relevant to this revised application and should be reviewed and considered in addition to those provided herein.
- Ministry staff note that, as described in the application information, it appears the proposed stormwater infrastructure does not improve the drainage on the subject parcel and only maintains the existing conditions (when no more than a 1:100-year storm event occurs).
- Ministry staff are unclear what would happen in scenarios involving greater than 1:100-year storm events, including whether the proposed infrastructure would exacerbate the situation compared to if the parcel was left undeveloped and the level of impact to any existing agricultural activity. The Regional District may wish to review and confirm with the applicant what options are available for any new owners in those circumstances.

- While Ministry staff appreciate the description in the revised application of the potential for farming activities on the proposed southern portion, as previously noted, tenure options other than subdivision and ALC regulations regarding additional residences are available to ALR farmers seeking alternate land use options. These options would likely help preserve and protect the long-term viability of agriculture in the area rather than further fragment the region's farmland.

If you have any questions or concerns about our comments, please do not hesitate to contact Ministry staff.

Sincerely,

Gregory Bartle, Land Use Planner
Ministry of Agriculture, Food and Fisheries
Phone: (778) 974-3836
Email: Gregory.Bartle@gov.bc.ca

Karen Tabe, Regional Agrologist –
Vanderhoof
Ministry of Agriculture, Food and Fisheries
Phone: (236) 409-2004
Email: Karen.Tabe@gov.bc.ca

Email copy: Michael McBurnie, ALC Regional Planner, Michael.McBurnie@gov.bc.ca

Dear Jason Llewellyn,

Firstly, we would like to withdraw our former letter of application for subdivision of our property. Please accept this letter as our formal application for subdivision of our property located at 5650 Tyhee Road in Telkwa, British Columbia (PID # 015678440).

We have lived on this land for the past five years and love it here. We have plenty of safe room for our four children to grow and explore. As the caretakers of neighboring Tyhee Lake Provincial Park, the location couldn't be better. We enjoy our hobby farm lifestyle. We have a large greenhouse and sell our produce in a homemade vegetable stand at the bottom of our driveway on Tyhee road on the North side of our property (an easement for us). We have an apiary on our land, and in partnership with friends we collect honey from our bees. Space and privacy on our land are important to us, though because we are only utilizing 3-5 acres for agricultural purposes, subdividing and selling half of our land would make sense for us. This property would be better suited to two smaller properties each with the opportunity for agricultural use.

Proposed subdivision should say: The purpose of this application is to allow the subdivision of the subject property into 2 8ha lots as shown on the map. We propose to subdivide in a straight line; straightforward and simple. Proposed lot 1 would consist of the applicants dwelling and accessory buildings and proposed lot 2 would be vacant and include the panhandle access onto Hubert Street out the South of land.

The land to the west of the subject property is in the Village of Telkwa and is not included in the ALR. The owner of this land is working with the Village in their plan to develop a 77-lot subdivision called Blissful Grove (BG). (As shown on the map below). Phase 1 of BG has been approved and land development began earlier this summer. Stormwater is naturally flowing from this adjacent property onto the subject property (on the southwest side, into proposed lot B). The developer would like to upgrade a culvert on the subject property.

On behalf of the BG Developments, we would like to ask for the approval of stormwater drainage from their land and onto proposed lot B on our subject property (Agricultural land). This option has been very well researched and planned by both the Village of Telkwa and WSP Engineers, at the expense of the owners of BG Developments. They have engineered plans and drawings explaining this possibility fully. For obvious reasons we are not keen to have approval for drainage onto our land if we are not permitted to subdivide.

As the owners of the subject property we would like to explain more completely why we are interested in subdividing our land. We purchased and moved onto this property in 2016. We have discussed subdividing our property since the beginning of our ownership here. We had even discussed the option of selling half of our land to Jeremie Beaudion before the subdivision of Blissful Grove had began. It has been 5 years now since we have initiated farming on our land and grown our business here. We love this location and all that this beautiful land has to offer. The location is ideal for us. We are the caretakers of the Neighboring Tyhee Lake Provincial Park and take great pride in land conservation and education in the area. We know that Jermemie and his family have similar views. It has become evident while living

here that we do not need this much land to farm. In fact, we are utilizing only about 3-5 acres of our land for farming purposes. If we were permitted to subdivide the land it would enable us to move forward financially and bring to life some of the dreams we have for this property. Jermemie and his wife Marie-Christian have similar views on land stewardship and conservation and we trust they will also care for the land the way we do.

Discussion:

a) There is limited agricultural potential within the proposed area. -Our entire acreage is treed so it has limited agricultural use. I realize that soil has been identified as a mix of 3/4 type soils, however given that we live surrounded by forest there is not a feasible way to farm with livestock or hay etc and smaller operations utilizing some of the land are more appropriate within the subject property and surrounding neighborhood.

b) Soil conditions are not suitable for agriculture- Soil conditions vary but again it's not perfect land for large scale farming as it is heavily treed.

c) Neighboring uses will not be compromised - There are no intentions of compromising any neighboring use. As the operators (10-year contract) to care for Tyhee Lake Provincial Park we are thinking long term and wish to limit impact on all neighboring property. All neighborhood parcels are 5-10acres in size so this will not be changing a lot in the vicinity.

d) Adequate provisions for fencing are provided where a proposed development is adjacent to an existing agricultural use. Our property (subject property) is already fenced through the middle separating 8Ha parcels out. The separation between proposed lot 2 and the BG subdivision is a driveway from Hubert street and a large row of forest on either side of the driveway.

e) The application is in the best interest of the community- We do believe this application to be in the best interest of the community. Our community is growing and changing to support the future. If our application to subdivide is successful, the proposed purchaser plans to have a modest home and small hobby farm for his family here. Additionally, If the owners of BG Subdivision are also owners of Proposed lot 2, they have a vested interest in the land and we are more confident that the land of Proposed lot 2 will be well taken care of. Smaller size parcels of land seem to be the way that this community neighborhood is. Subdividing our land would make most sense for this area.

f) The proposed development considers and addresses potential impacts and potential improvements to recreational features and the environment including wildlife habitat. - The subject property is zoned H2 though the entire acreage (aside from our house site), is heavily treed and as so, unfit for large scale farming purposes. We have no plans to log and modify the land in this way as doing so would be detrimental to animal habitat and the local environment including the Tyhee Lake Provincial Park to the East. The proposed subdivision and development of lot B or this subject property

G) And, traffic management issues will be considered and addressed appropriately.

With our plan, a small portion of land of BG Developments will become a lot and change from easement to ownership for the subject property. This has been well thought out and will reduce any future traffic issues for either BG Developments or the us as the owners of subject Property lot A.

We are more than happy to meet by zoom to clarify/discuss any questions and provide further information as needed. Please feel free to contact us. Jermemie, the owner in BG Developments can be reached by phone at (redacted)

Proposal,

2. What is the purpose of the proposal?

Dividing the current land of 40 ac in 2 land of 20 ac.

3. Why do you believe this parcel is suitable for subdivision?

Base on the Zoning of H2 the zoning allow to have land size up to 20 ac. This will help increase the local farming capacity. The land have access to road on each end. The land have access to BC Hydro electrical power on 2 side is well. The land is service by a water well and is near Telkwa Town water and Sewer.

This will increase the local farming production capacity. By having 2 families maximizing the land capacity.

4. Does the proposal support agriculture in the short or long term? Please explain.

The new land to be own by Beaudoin family is 20 ac: a family of 5,

- Marie-Christine Lepage 43 years old, decedent form a farming family in Quebec living in Telkwa for 6 years. Marie is a Doctor homeopath, soap maker.
- Jeremie Beaudoin 39 years old living in Telkwa for 14 years (Telkwa senior firefighter officer) growing up in Quebec on a family farm. Jeremie is a Health and Safety professional company owner for 15 years.
- Ellie-Oscard 5 years old,
- Leonard (Down syndrome), 4years old.
- Victor-Esteban 1 years old.

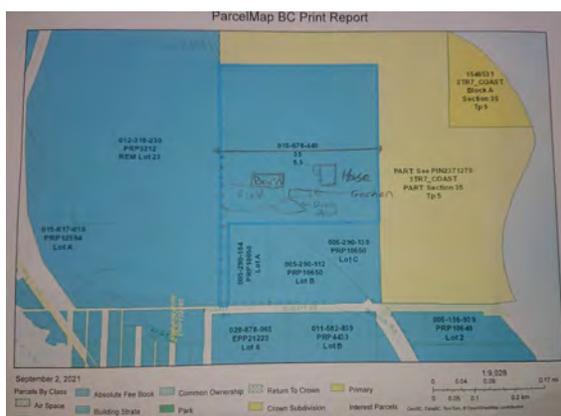
The Beaudoin Family has already successfully take care of 100 ac of maple syrup/forest land in Quebec with 2 other family member, During the time in Quebec the Beaudoin family have experience with lamb production, chicken for egg, wood management and small goat production. Garden was and is still a corner stone of the family. Since living in Telkwa, The Beaudoin family have 8 chickens, 20 rabbits, 4 ducks and a lot of smaller animal.

Moving forward if the land is subdivided, The Beaudoin is committed to build a well plan farm that will included Chicken for egg (selling local market, goat and lamb production) duck farm, (for duck pate & terrine). The Importance for the Beaudoin family to move from the current location in Woodland to the new 20ac is critical with the Down syndrome child a well plan farming is required.

The Beaudoin family is involve in the near (Telkwa town new sub division project). This speak for itself in the involvement of the community development and integration, respect of the nature, land and future of the area.

See link below of the picture of the site currently

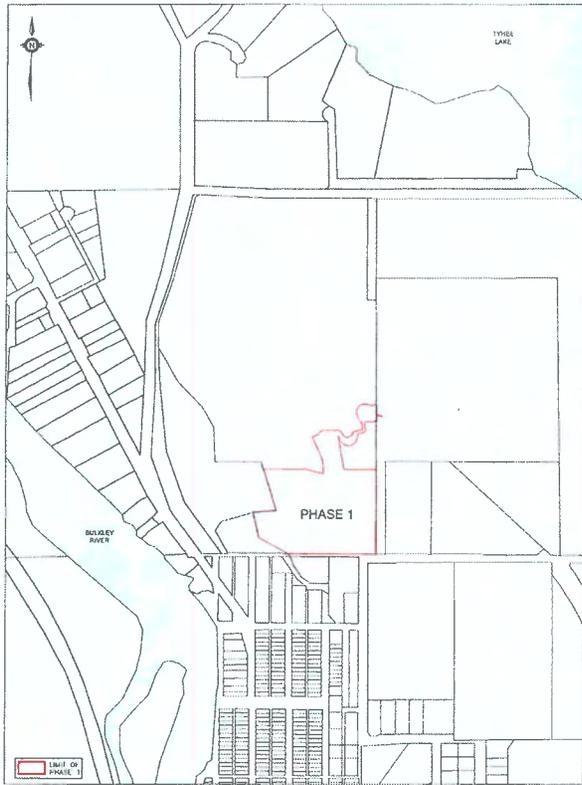
<https://drive.google.com/drive/folders/1dFs6oLwEEDQ3GKjz60wAyF9BTATAculz?usp=sharing>



BLISSFUL GROVE - PHASE 1

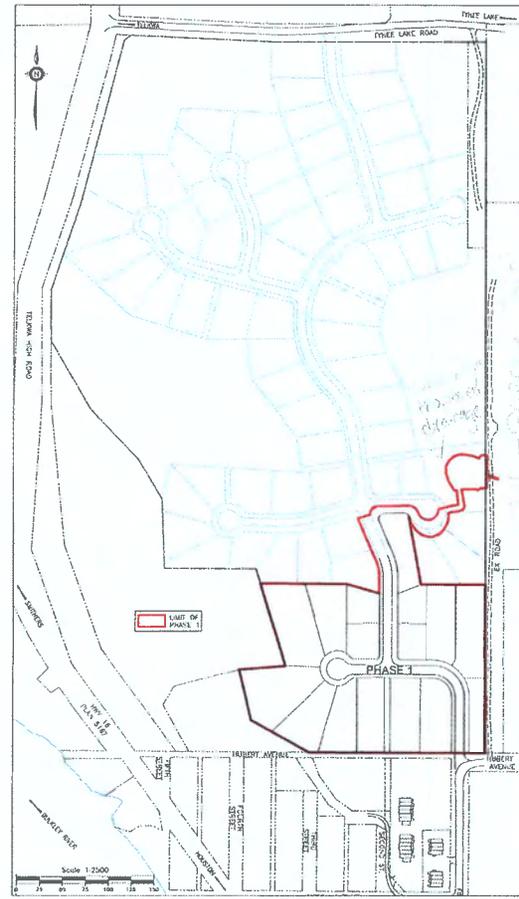
PROPOSED SUBDIVISION - TELKWA B.C.

Exhibit B



KEY PLAN
NOT TO SCALE

BLISSFUL GROVE					
No.	Description	Issued	Revision	Notes	Set
100	Existing Surface Conditions	Feb. 2021	F	All Phases	Included in Set
101	Legal Outline And Dimension	Feb. 2021	B	Existing	Included in Set
102	Existing Surface Conditions	Feb. 2021	E	Existing	Included in Set
103	Proposed Surface	Feb. 2021	F	All Phases	Included in Set
104	Phase Outline	Mar. 2021	F	All Phases	Included in Set
105	Phase 1 - Lot Dimensions & Areas	Feb. 2021	B	Phase 1	Included in Set
106	Phase 2 - Lot Dimensions & Areas	Feb. 2021	F	Phase 2	Not Included in Set
107	Phase 3 - Lot Dimensions & Areas	Feb. 2021	A	Phase 3	Not Included in Set
108	Phase 4 - Lot Dimensions & Areas	Feb. 2021	A	Phase 4	Not Included in Set
109	Phase 5 - Lot Dimensions & Areas	Feb. 2021	A	Phase 5	Not Included in Set
110	Phase 6 - Lot Dimensions & Areas	Feb. 2021	A	Phase 6	Not Included in Set
SURFACE WORKS					
200	Overall Site Driveway	Mar. 2021	F	All Phases	Included in Set
201	Phase 1 - Stormwater Detention Plan & Profile	Feb. 2021	F	Phase 1	Included in Set
202	Phase 2 - Stormwater Detention Plan & Profile	Feb. 2021	E	Phase 2	Not Included in Set
203	Phase 3 - Stormwater Detention Plan & Profile	Feb. 2021	A	Phase 3	Not Included in Set
204	Phase 4 - Stormwater Detention Plan & Profile	Feb. 2021	A	Phase 4	Not Included in Set
205	Phase 5 - Stormwater Detention Plan & Profile	Feb. 2021	A	Phase 5	Not Included in Set
206	Phase 6 - Stormwater Detention Plan & Profile	Feb. 2021	A	Phase 6	Not Included in Set
207	Phase 1 - Eastern Stormwater Retention	Mar. 2021	C	Phase 1	Included in Set
208	Phase 2 - Western Stormwater Retention	Feb. 2021	A	Phase 1	Not Included in Set
209	Stormwater Retention Profiles	Mar. 2021	G	Phase 1	Included in Set
210	Phase 1 - Grading Plan & Road Geometry	Feb. 2021	F	Phase 1	Included in Set
211	Phase 2 & 3 - Grading Plan & Road Geometry	Feb. 2021	F	Phase 2 & 3	Not Included in Set
212	Phase 4 & 5 - Grading Plan & Road Geometry	Feb. 2021	E	Phase 4 & 5	Not Included in Set
213	Phase 6 - Grading Plan & Road Geometry	Feb. 2021	E	Phase 6	Not Included in Set
214	Phase 1 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 1	Included in Set
215	Phase 2 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 2	Not Included in Set
216	Phase 3 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 3	Not Included in Set
217	Phase 4 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 4	Not Included in Set
218	Phase 5 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 5	Not Included in Set
219	Phase 6 - Cul-de-Sac Road Geometry	Feb. 2021	A	Phase 6	Not Included in Set
UNDERGROUND WORKS					
300	Phase 1 - Sewer Connection	Mar. 2021	F	Phase 1	Included in Set
301	Phase 1 - Road 1 Plan & Profile	Mar. 2021	F	Phase 1	Included in Set
302	Phase 1, 2 & 3 - Road 2 Plan & Profile	Mar. 2021	F	Phase 1, 2 & 3	Included in Set
303	Phase 2 - Road 3 Plan & Profile	Feb. 2021	E	Phase 2	Not Included in Set
304	Phase 3 - Road 4 Plan & Profile	Feb. 2021	E	Phase 3	Not Included in Set
305	Phase 3 & 4 - Road 5 Plan & Profile	Feb. 2021	E	Phase 3 & 4	Not Included in Set
306	Phase 5 - Road 6 Plan & Profile	Feb. 2021	E	Phase 5	Not Included in Set
307	Phase 6 - Road 6 Plan & Profile	Feb. 2021	E	Phase 6	Not Included in Set
308	Phase 1 - Sanitary & Water Services	Feb. 2021	C	Phase 1	Included in Set
309	Phase 2 - Sanitary & Water Services	Feb. 2021	A	Phase 2	Not Included in Set
310	Phase 3 - Sanitary & Water Services	Feb. 2021	A	Phase 3	Not Included in Set
311	Phase 4 - Sanitary & Water Services	Feb. 2021	A	Phase 4	Not Included in Set
312	Phase 5 - Sanitary & Water Services	Feb. 2021	A	Phase 5	Not Included in Set
313	Phase 6 - Sanitary & Water Services	Feb. 2021	A	Phase 6	Not Included in Set
314	Phase 1 - Lot Service Layout	Feb. 2021	A	Phase 1	Included in Set
315	Phase 2 - Lot Service Layout	Feb. 2021	A	Phase 2	Not Included in Set
316	Phase 3 - Lot Service Layout	Feb. 2021	A	Phase 3	Not Included in Set
317	Phase 4 - Lot Service Layout	Feb. 2021	A	Phase 4	Not Included in Set
318	Phase 5 - Lot Service Layout	Feb. 2021	A	Phase 5	Not Included in Set
319	Phase 6 - Lot Service Layout	Feb. 2021	A	Phase 6	Not Included in Set
DETAILS					
400	Storm Construction Details	Feb. 2021	D	All Phases	Included in Set
401	Water Utility Construction Details	Feb. 2021	D	All Phases	Included in Set
402	Water Utility Construction Details	Feb. 2021	D	All Phases	Included in Set
403	Sanitary Construction Details	Mar. 2021	C	All Phases	Included in Set
404	Construction Notes	Feb. 2021	D	All Phases	Included in Set



Box 309, 7-3167 Tallow Road
Surrey, BC, V0J 2N0
Phone: (250) 847-6110
Email: info@delwisch.com
www.delwisch.com

BLISSFUL GROVE
PROPOSED SUBDIVISION



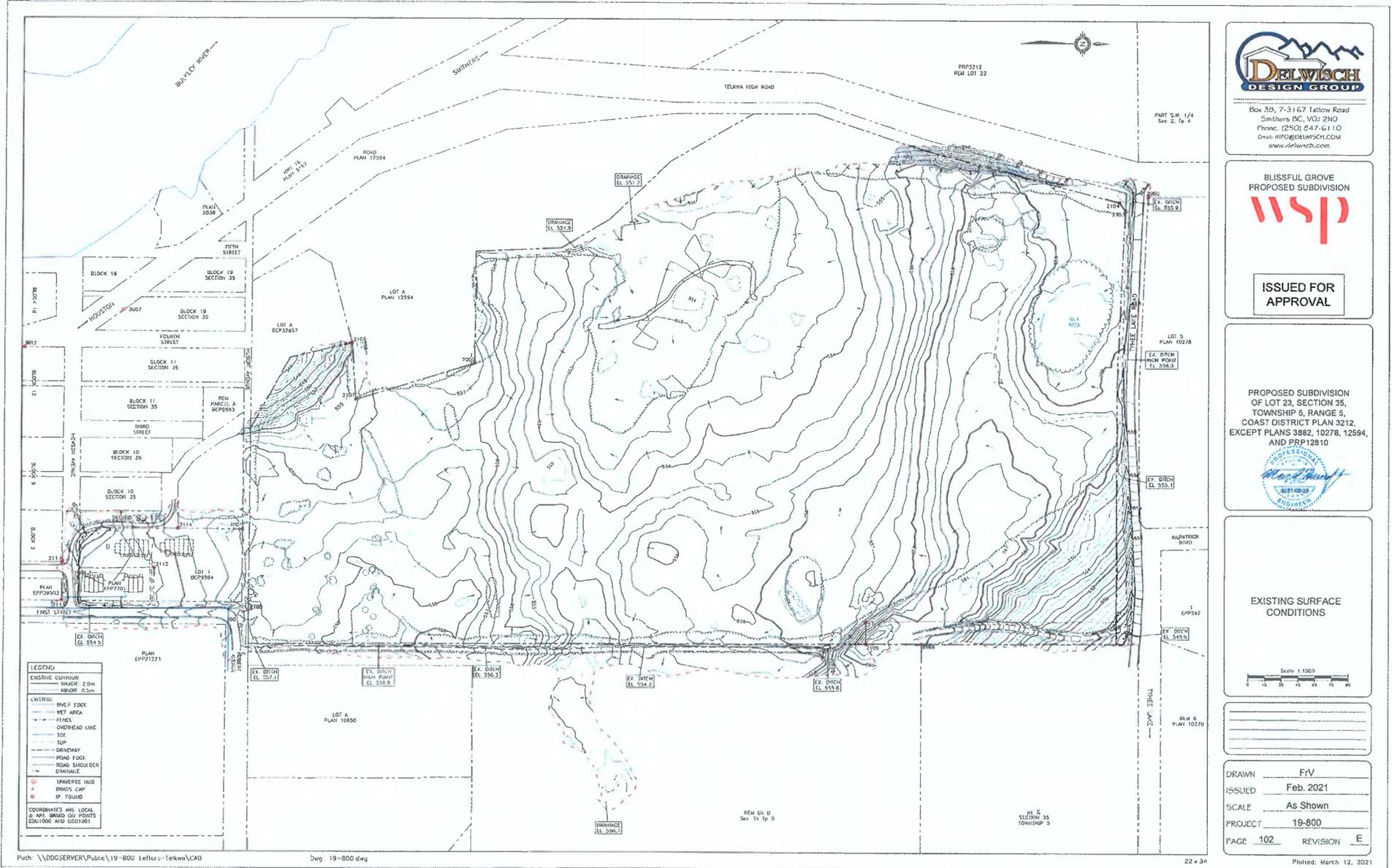
ISSUED FOR
APPROVAL

PROPOSED SUBDIVISION
OF LOT 23, SECTION 35,
TOWNSHIP 5, RANGE 5,
COAST DISTRICT PLAN 3212,
EXCEPT PLANS 3882, 10278, 12694,
AND FRP12810



PROPOSED
SUBDIVISION
KEYPLAN

DRAWN FrV
ISSUED Mar. 2021
SCALE As Shown
PROJECT 19-800
PAGE 100 REVISION



Box 30, 7-5167 Tatlow Road
 Simsbury, CT, 06068
 Phone: (203) 247-6110
 Email: info@delwisch.com
www.delwisch.com

BLISSFUL GROVE
 PROPOSED SUBDIVISION

ISSUED FOR
 APPROVAL

PROPOSED SUBDIVISION
 OF LOT 23, SECTION 35,
 TOWNSHIP 5, RANGE 5,
 COAST DISTRICT PLAN 3212,
 EXCEPT PLANS 3882, 10278, 12594,
 AND PRP12810

EXISTING SURFACE
 CONDITIONS

Scale 1:1500

DRAWN: FVJ
 ISSUED: Feb. 2021
 SCALE: As Shown
 PROJECT: 19-800
 PAGE 102 REVISION E

February 10, 2021

Confidential

National Emergency Safety Service
1463 Chestnut St.
Telkwa BC, V0J 2X0

Attention: Jeremie Beaudoin, CHSEP, NCSO

Dear Mr. Beaudoin

Subject: Blissful Grove Subdivision Stormwater Preliminary Design

INTRODUCTION

This memo is intended to provide the basis for stormwater management design for the Blissful Grove subdivision.

Blissful Grove is a proposed subdivision located in Telkwa, BC. The existing, predevelopment land use for this area is considered “Unimproved Area including Hillsides,” with a corresponding landuse coefficient of 0.3. **Figure 1** shows the location of the proposed subdivision in relation to the existing drainage patterns and catchments of the area. The catchment area that drains to the existing culvert on the east side of the proposed subdivision is 1.62ha.

The ultimate development will be 29.2ha in size, with 68 private lots and 3.3km of asphalt paved roads, and will consist of a mix of “Unimproved Areas including Hillsides,” “Residential – SF,” and “Park and Playground” land uses. Based on a weighted average calculation of these landuses types based on area, the overall landuse coefficient for the development is estimated to be 0.34. The post development total impervious area for the subdivision is estimated to be 5.54ha. Drainage will be provided by roadside culverts and ditches which will direct onsite runoff to an onsite stormwater management facility that will provide storage, and control the stormwater discharge rate from the subdivision to the downstream environment. **Figure 2** shows the proposed subdivision, future drainage catchments, and location of onsite stormwater storage facility.

DESIGN REQUIREMENTS

Design requirements for the Blissful Grove stormwater system are provided by the Village of Telkwa Bylaw No. 642, 2014 “Subdivision and Development Servicing Bylaw,” and an agreement that has yet to be finalized between Blissful Grove Development Ltd. and the owner of the neighbouring property to the east, where the majority of stormwater from the development will be discharged.

ALLOWABLE RELEASE RATES

The Village of Telkwa bylaw requires “Post Development Flow to not exceed predevelopment flow for the 1:2-year 24 hour peak storm.” The 2-year allowable release rate was thus estimated by considering a typical 24 hour rainfall distribution (HUFF distribution), and determining what the peak runoff would be for a 2 year event, over this duration on the 1.62 hectare, predevelopment catchment (see **Figure 1**). The estimate peak predevelopment flow in a 24 hour, 1:2 year event was found to be 5.7 L/s.

Based on an understanding between Blissful Grove Development Ltd. and the owner of the neighbouring property to the east, subdivision design is to ensure that post development peak discharge does not exceed the pre-development peak flow. While an agreement has not yet been formalized, the typical metric for this control in WSP’s experience is for all storms, up to and including the 1:100 year event. Using the rational method for a 1:100 year, 10 minute storm, the expected peak runoff rate for the predevelopment catchment is 89L/s. This represents the maximum allowable post development runoff rate for the subdivision.

Given that the release rates presented above are based on predevelopment conditions, they apply to the downstream outfall for the Blissful Grove subdivision whether it is fully or partially built out.

REQUIRED STORAGE

For minor storms, the Village of Telkwa bylaw storage requirement is to detain the 'minor' event (1:2 year) to 200 m³/ha of impervious surface area for the proposed development, regardless of the existing condition. The fully built out subdivision will have approximately 5.54 hectares of impervious area. This corresponds to a storage requirement of 1,108m³ for the 1:2 year storm. Estimating an impervious area of 1.2 ha for Phase 1, the 1:2 year storage requirement for only Phase 1 is 240m³.

To ensure the post development peak discharge rate does not exceed the pre-development peak flow for all storms up to and including the 1:100 year event storage will be provided and an outlet control structure constructed. The required storage is determined by analyzing design storm events on the catchment area and restricting flow to the predevelopment rates specified above. The required storage volume for the post development, full buildout scenario for the 1:100 year, 24 hour storm is 2,750m³. For the interim scenario where only Phase 1 is developed, the required storage volume is 500m³.

To achieve the storage volumes specified above, the site will need to be graded to ensure lots are above the expected ponding elevations. Storage is provided between the elevation of the site’s outfall and the expected high-water level (HWL) during a 1:100 year event. It is recommended to ensure all lot grades have a minimum freeboard above the HWL. This would be referred to as the Free-Board Level (FBL) of the storm pond. In WSP’s experience, a typical freeboard for similar subdivisions is 0.3m-0.6m, though this will have to be confirmed with the Village of Telkwa. The HWL and FBL will be determined during detailed design once the overall grading has been finalized for the full subdivision.

The interim ponding would look to utilize storage within the existing natural contours. The fully built out subdivision will likely require a combination of constructed storage and storage within the natural contours. Proposed berms will be needed to contain the ultimate storage for the fully built out subdivision. See **Figure 2** for approximate locations of anticipated ponding extents

required to provide the minimum storage volume for the 1:2 year and 1:100 year storm events. Runoff from storms greater than the 1:100 year storm event will be discharged to the property to the east through constructed overflow channels.

To ensure the stormwater management facility operates in accordance with the requirements outlined above, it is proposed that a control manhole be constructed to regulate the discharge from the subdivision. The control manhole would have an orifice designed to limit the development's runoff to the 1:2 year allowable runoff rate (5.7L/s) and provide the required storage for the 1:2 year storm event (1,108m³ for full buildout). Beyond the 1:2 year event, the water level in the facility will rise and a weir discharge control would regulate discharge in accordance with the maximum allowable release rate for storms up to the 1:100 year event (89 L/s) to a storage volume of 2,750m³ for the full buildout scenario.

By regulating the flow from the subdivision, the control manhole will cause ponding and storage where sediments may be settled out from the stormwater runoff. In conjunction with roadside grass ditches and on lot sediment control guidelines, this will provide water quality control. The details of the control manhole, including orifice and weir diameter and elevations may vary depending on the construction phase of the subdivision. Internal details for the control manhole will be provided on the design drawings.

CLOSING

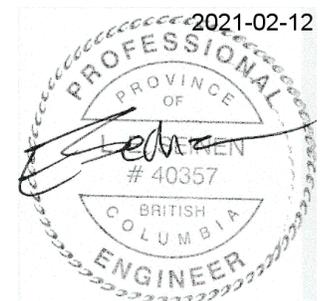
This memo is intended to provide stormwater management design guidance for the Blissful Grove subdivision. We trust that the information provided herein is satisfactory and will allow for detailed design of the Blissful Grove subdivision stormwater management system to proceed in accordance with the applicable requirements. WSP is available to provide support through subsequent phases of the design of this project, should it be needed.

Yours sincerely,

Daniel Helm, EIT
Civil Engineer, Municipal
Infrastructure

DH/es
Encl. Figure 1, Figure 2
cc: Allan Kindrat, Paul Wellington

Eric Seinen, P.Eng.
Civil Engineer, Municipal
Engineering



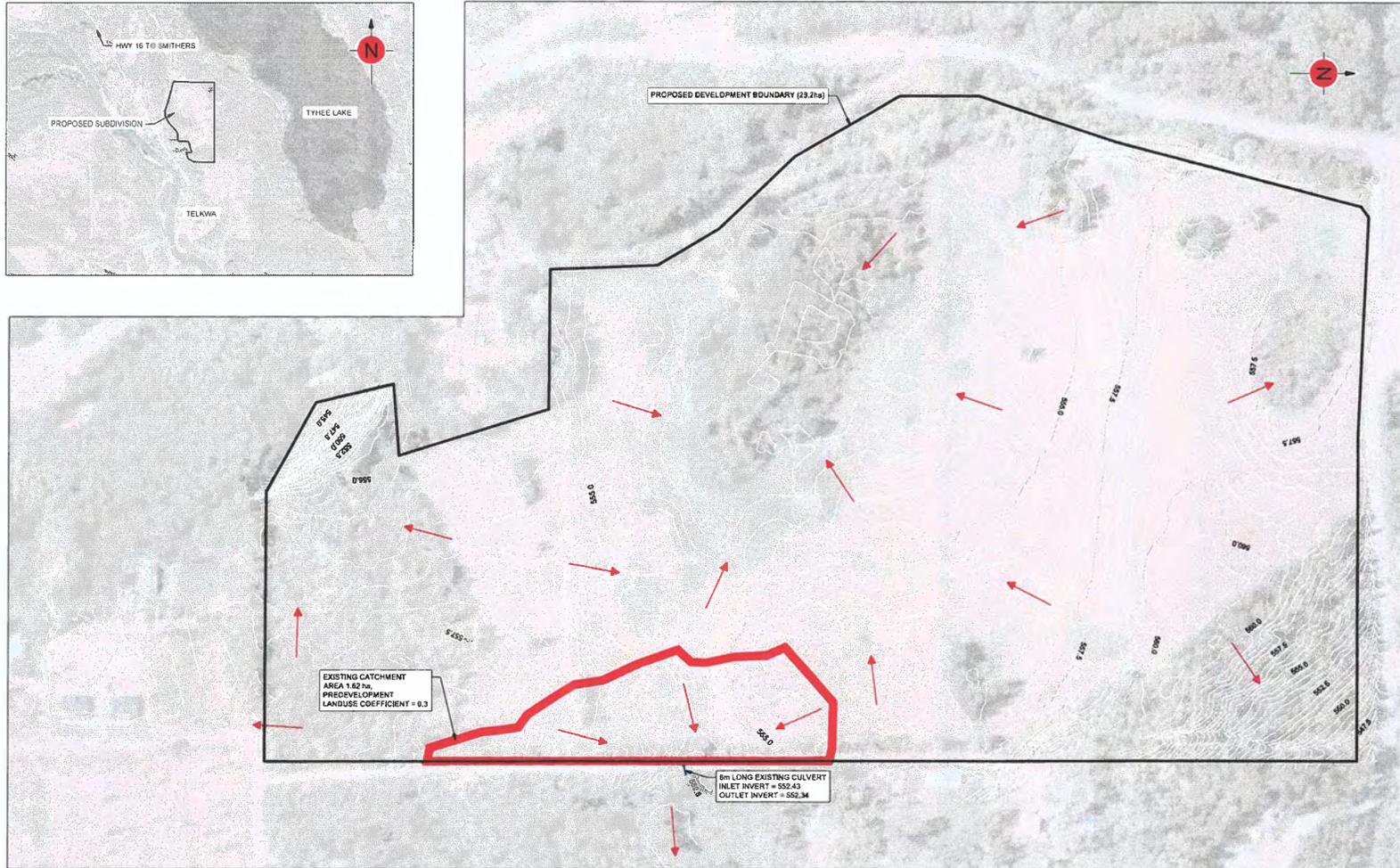


FIGURE 1: BLISSFUL GROVE EXISTING CONDITIONS AND CATCHMENT AREA

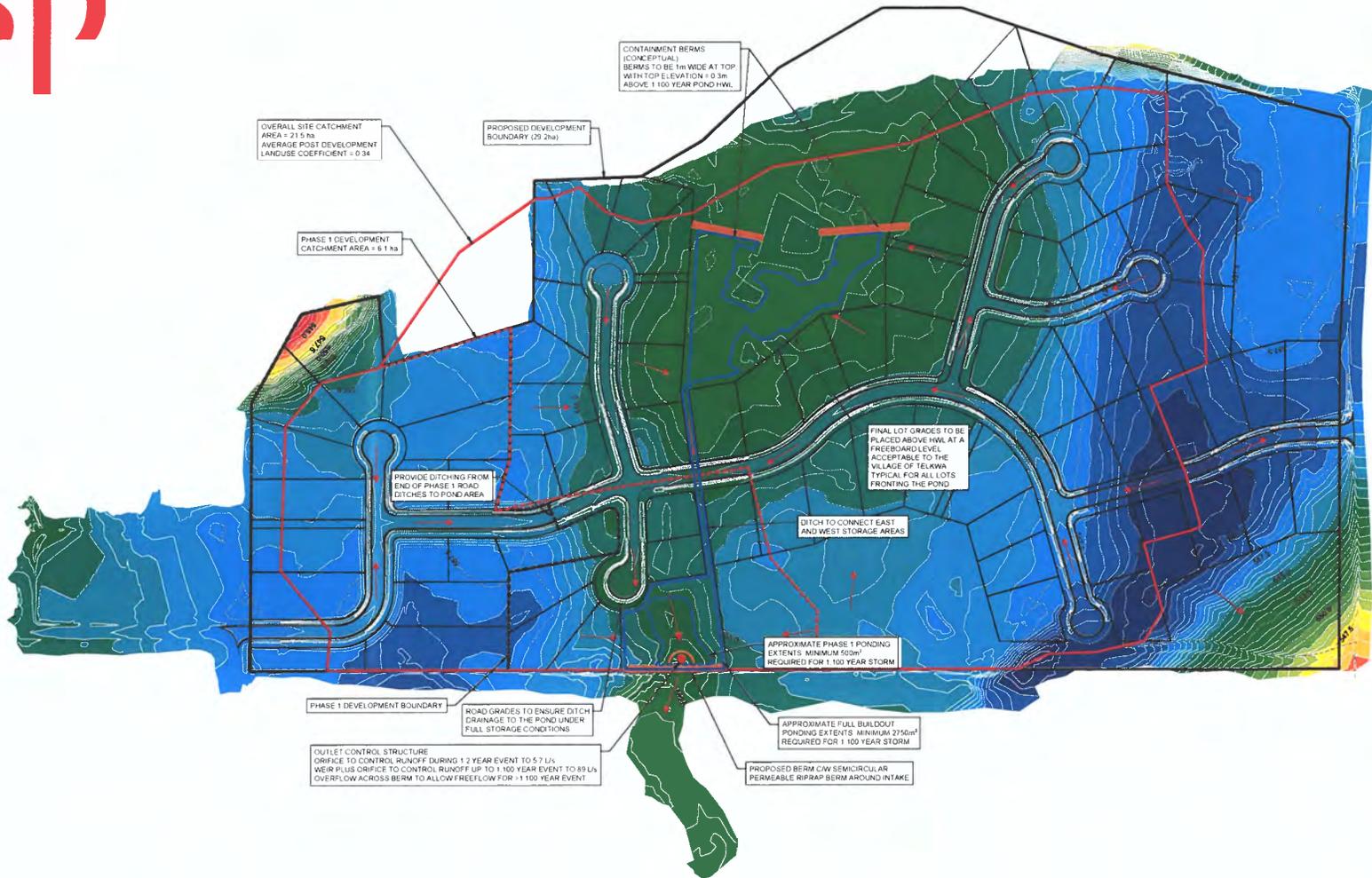
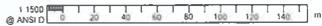


FIGURE 2: BLISSFUL GROVE PROPOSED DEVELOPMENT PLAN FUTURE CATCHMENT AREAS AND STORMWATER MANAGEMENT AREAS



September 13, 2021

Confidential

National Emergency Safety Service
 1463 Chestnut St.
 Telkwa BC, V0J 2X0

Attention: Jeremie Beaudoin, CHSEP, NCSO

Dear Mr. Beaudoin

Subject: Blissful Grove Subdivision Development - Stormwater Impact to ALR Land

WSP has prepared this letter to clarify the overall function of the Blissful Grove development’s stormwater design and its affect on the downstream receiving land such that potential impacts to ALR will be better understood.

The “Blissful Grove Subdivision Stormwater Preliminary Design” technical memo (WSP, February 2021) provides the basis for stormwater design for the Blissful Grove Subdivision. The existing and post development land use and catchment areas is presented in Figures 1 and 2 of this report. Drainage from the majority of the subdivision footprint will be directed to the southeast corner of the development to an existing downstream drainage channel. An existing downstream culvert will be removed and replaced with a new culvert complete with a flow control structure. Runoff from the subdivision will be directed to this control structure where its controlled release is conveyed to the existing drainage channel that currently conveys stormwater to the east across the downstream receiving land.

Design of the subdivision, including storage ponds and the outlet control structure, ensure the following stormwater allowable release rates shall not exceed:

- Post development flow not to exceed the predevelopment flow for the 1:2-year 24 hour peak storm. This flow rate was found to be 5.7 L/s
- Post development peak flow not to exceed the pre-development peak flow for all storms, up to and including the 1:100 year event. The peak flow rate was found to be 89 L/s for the 1:100 year, 10 minute storm.

Given that the release rates presented above are based on predevelopment conditions, they apply to the downstream outfall for the Blissful Grove subdivision whether it is fully or partially built out. It should be understood that by limiting the release rates to these pre-development conditions, the Blissful Grove subdivision will not be affecting the downstream drain channel within the neighboring land, nor will the use of the ALR be changed.

If you have any questions or concerns, please feel free to reach out to us at WSP.

Yours sincerely,



Daniel Helm, P.Eng.
 Civil Engineer, Municipal
 Infrastructure



Eric Seinen, P. Eng.
 Civil Engineer, Municipal
 Engineering

DH/es

cc: Allan Kindrat, Paul Wellington, Lev Hartfiel, Jason Llewellyn



REGIONAL DISTRICT OF BULKLEY-NECHAKO

STAFF REPORT

TO: Chair Thiessen and Board of Directors
FROM: Danielle Patterson, Senior Planner
DATE: January 27, 2022
SUBJECT: Village of Telkwa Referral for Official Community Plan (OCP) Amendment Bylaw 746, 2022 and New Zoning Bylaw No. 747, 2022

RECOMMENDATION

That staff inform the Village of Telkwa that the Regional District of Bulkley-Nechako has no concern with the referral request for the proposed OCP Amendment Bylaw No. 746, 2022 and new Zoning Bylaw No. 747, 2022.

VOTING

All / Directors / Majority

DISCUSSION

The Village of Telkwa is proposing a new Zoning Bylaw to replace Zoning Bylaw No. 622, 2013. Further, the Village is proposing an OCP amendment to align the OCP policies with the new Zoning Bylaw.

Planning Department staff have no concerns or recommended comments about the OCP Amendment Bylaw or the Zoning Bylaw as they do not affect the rural areas. As a courtesy to the Village of Telkwa, Planning Staff have performed a technical review of the bylaws and provided those comments directly to Village staff.

ATTACHMENTS

- Village of Telkwa Official Community Plan Amendment Bylaw No. 746, 2022
- [Village of Telkwa Zoning Bylaw No. 747, 2022 \(Link\)](#)



**THE CORPORATION OF THE VILLAGE OF TELKWA
OFFICIAL COMMUNITY PLAN AMENDMENT BYLAW NO. 746, 2022**

**A bylaw to amend the Village of Telkwa Official Community Plan,
attached as Schedule "B" to the Official Community Plan Bylaw No. 613, 2011.**

WHEREAS *Local Government Act* Section 471(1) specifies an Official Community Plan (OCP) is a statement of objectives and policies to guide decisions on planning and land use management;

AND WHEREAS the Council of the Village of Telkwa wishes to amend the Village of Telkwa Official Community Plan;

AND WHEREAS the Council of the Village of Telkwa deems it is in the public interest to amend the Official Community Plan in order to better align with the legislative authority of the *Local Government Act* and in anticipation of a new Zoning Bylaw;

NOW THEREFORE the Council of the Village of Telkwa, in open meeting assembled, enacts the following:

- 1) This Bylaw may be cited for all purposes as the "OCP Amendment Bylaw No. 746, 2022" and comes into effect on the date of adoption.
- 2) Schedule B Official Community Plan of the Village of Telkwa Official Community Plan Bylaw No. 613, 2011 is hereby amended by:
 - a) Deleting the following statement on page 9:

Once an OCP is adopted as a bylaw, the Community Plan becomes "official", and all future land use decisions made by Council must be consistent with the objectives and policies outlined in the Plan.

And replacing it with the following statement:

Once an OCP is adopted as a bylaw, all bylaws enacted and works undertaken by must be consistent with the adopted OCP bylaw, as per section 478 of the *Local Government Act*.

- b) Deleting the following Policy 4.1.5 g) on page 28:

g) Examine and promote the creation of solar energy zones in the Zoning Bylaw, which specify standards for roof pitches, solar access provisions and street orientations in order to preserve solar energy options;

And replacing it with the following Policy:

g) Encourage developers to examine and integrate solar energy options into significant development proposals including consideration of standards for roof pitches, solar access provisions and street orientations;

c) Deleting the following Policy 4.2.1 g) on page 30:

g) Designate an area with the town boundary for short-term parking opportunities;

And replacing it with the following Policy:

g) As the Village grows, consider the need for additional short-term parking opportunities;

d) Deleting the following Policy 4.3.3 b) on page 31:

b) Require new development to locate all utilities (including power, phone, etc.) underground and encourage existing development to locate utilities underground where feasible.

And replacing it with the following Policy:

b) Strongly encourage new development to locate all utilities (including power, phone, etc.) underground and encourage existing development to locate utilities underground where feasible, recognizing that Council may impose requirements at the time of subdivision or building permit in accordance with section 506 of the *Local Government Act*.

e) Deleting the following Policy 5.1.1 b) on page 35:

b) Require the implementation of Telkwa Riparian Area Regulations for all development occurring within in a Riparian Area;

And replacing it with the following Policy:

b) Support the implementation of the provincial regulations for development in riparian areas;

f) Deleting *Appendix "B" Riparian Areas Regulation*, and all references to Appendix B as found throughout the Official Community Plan, including:

- i) "Refer to Appendix B for Telkwa Riparian Area Regulations." at page 34;
- ii) "as identified in Appendix B" at the end of Policy 5.1.5 g) at page 37.

g) Deleting the following Policy 6.4.1 a) on page 54:

a) Require Comprehensive Development areas with arable land to dedicate a percentage of land for local food production;

And replacing it with the following Policy:

a) Encourage significant developments with arable land to devote or contribute a percentage of land for local food production;

- h) Deleting the following statement in the "Anticipated Zone & Permitted Uses" Column of the "Land Use Designations" Table on page 73:

Home Occupation <35% of Principal Dwelling Unit

And replacing it with the following:

Home Business or Home Industry

- i) Deleting the following headings and their respective content, including under subheadings, found between pages 84 – 88 in their entirety:
- i) "AMENDMENT PROCEDURES"
 - ii) "HOW TO MAKE AN OCP AMENDMENT APPLICATION"
 - iii) "REQUIRED DOCUMENTS"
 - iv) "OCP AMENDMENT ASSESSMENT CRITERIA"
 - v) "Other Documents"
 - vi) "Zoning Bylaw"
 - vii) "Fiscal Program"
- j) Changing references to Appendix C to be Appendix B throughout the OCP and adding the following notation at the beginning of the newly renamed Appendix B:
The following generic definitions were prepared by the consultant assisting with the preparation of the OCP, without Village refinement, and are intended solely to be informative and non-binding.
- 3) Page numbers cited above are for convenience only, and the full text of deleted and replacement text has been provided to facilitate updating of the OCP in accordance with this amendment bylaw.
- 4) All references to provincial legislation in Official Community Plan Bylaw No. 613, 2011 are hereby amended by updating them to the applicable section reference(s) in the current legislation.

READ A FIRST TIME this _____ day of _____, 2022.

READ A SECOND TIME this _____ day of _____, 2022.

CONSULTATION referrals in accordance with sections 475-476 of the *Local Government Act*, including Council's consideration of opportunities for consultation with one or more of the persons, organizations and authorities, sent this _____ day of _____, 2022.

CONSIDERED, in accordance with Section 477 of the *Local Government Act*, by the Municipal Council in conjunction with (i) its financial plan, and (ii) applicable waste management plan(s) under Part 3 [Municipal Waste Management] of the *Environmental Management Act* the _____ day of _____, 2022.

NOTIFICATION in the local newspaper published on _____ and _____, 2022.

PUBLIC HEARING HELD this _____ day of _____, 2022.

READ A THIRD TIME this _____ day of _____, 2022.

ADOPTED this _____ day of _____, 2022.

Leroy Dekens
Deputy Mayor

Debbie Joujan
CAO/Corporate Officer, CMC



REGIONAL DISTRICT OF BULKLEY-NECHAKO

STAFF REPORT

TO: Chair Thiessen and Board of Directors
FROM: Lindsay King, Planner
DATE: January 27, 2022
SUBJECT: Mines Application Referral No. 139611557-006

RECOMMENDATION

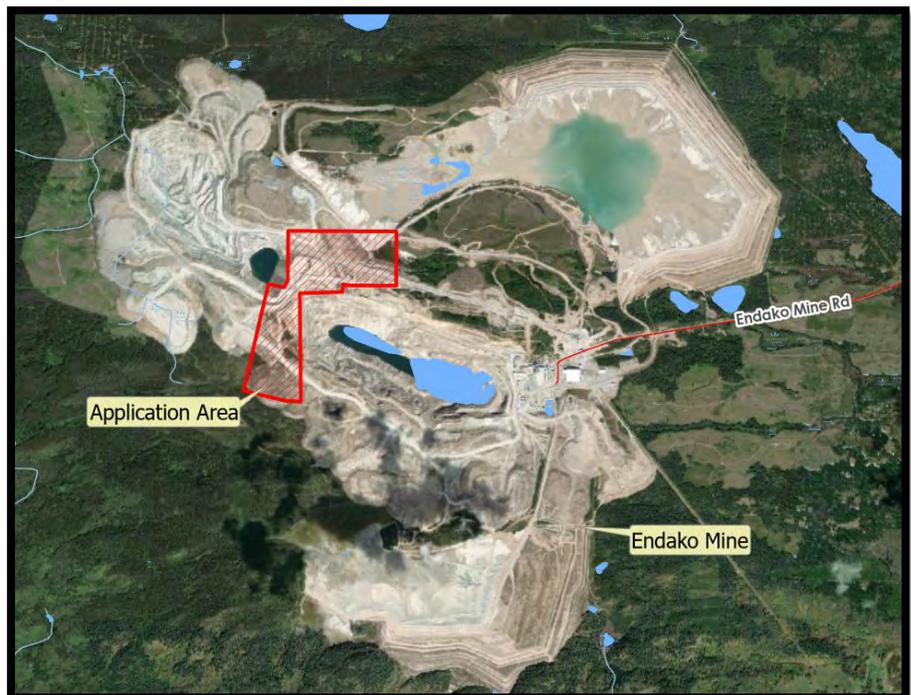
That the attached comment sheet be provided to the Province as the Regional District's Mines Application Referral No. 139611557-006.

VOTING

All Directors / Majority

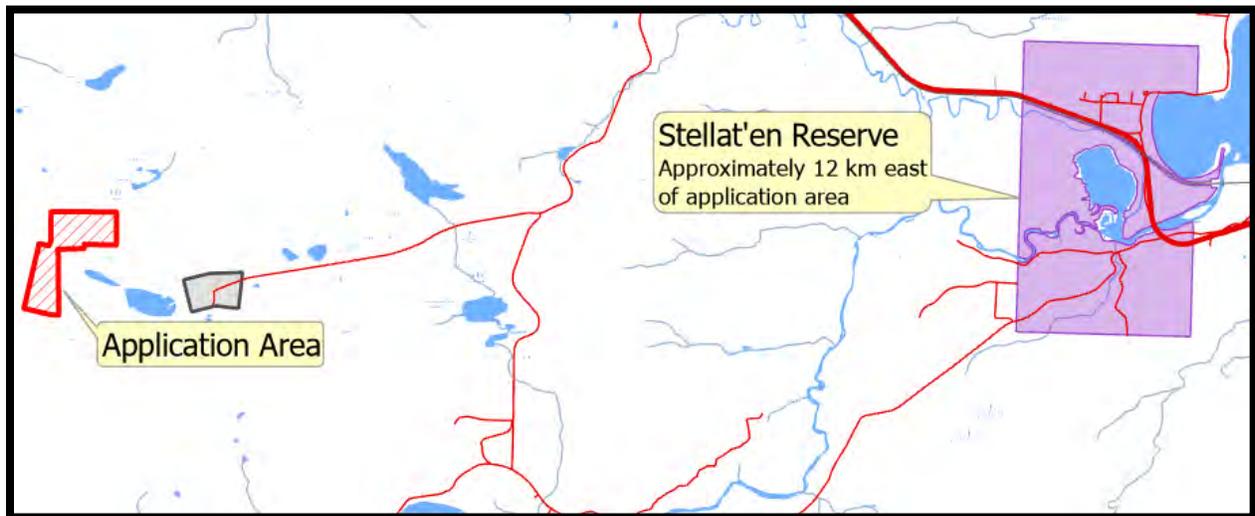
DISCUSSION

This application is regarding five extensions to Thompson Creek Metals Co. Inc. mining leases, each set to expire in 2022. The lease renewals would allow the applicant to continue operating in the Endako Mine, which is an open-pit molybdenum mine, for another 15 years (starting in 2023). These five leases account for an aggregate of 79.31 ha.



The Endako mine is approximately 20 km southwest of the Village of Fraser Lake. It is one of the largest molybdenum mines in North America, and apart from two temporary closures (1982-1986 and 2016-present), the mine has remained in operation since 1965. Molybdenum is primarily used to produce steel. The property consists of a contiguous group of 26 leases and 32 mineral claims.

The applicant has provided detailed information regarding their environmental monitoring program, hazardous waste management program, and a detailed Mine Plan (2026-2038). Consultation has resulted in agreements such as the Endako Water Quality Working Group (2015), including the following members: BC Ministry of Environment and Climate Change Strategy, Nadleh Whut'en First Nation, Stellat'en First Nation, Nee-Thai-Buhn First Nation, and the Glennannan Community Association. Thompson Creek Metals Co. Inc. participates as a guest.



ATTACHMENTS

Comment Sheet



**REGIONAL DISTRICT OF BULKLEY-NECHAKO
COMMENT SHEET ON MINES REFERRAL NO. 139611557-006**

Electoral Area:	D
Applicant:	Thompson Creek Metals Co. Inc.
Existing Land Use:	Mining
Zoning:	Rural Resource
Plan Designation	Resource
Proposed Use Comply with Zoning:	Yes
If not, why?	NA
Agricultural Land Reserve:	No
Access Highway:	Endako Mine Rd.
Building Inspection:	No
Fire Protection:	Outside the Rural Fire Protection Area
Other comments:	None



**REGIONAL DISTRICT OF BULKLEY-NECHAKO
STAFF REPORT**

TO: Chair Thiessen and Board of Directors
FROM: Lindsay King, Planner
DATE: January 27, 2022
SUBJECT: Crown Land Application Referral No. 7410220

RECOMMENDATION

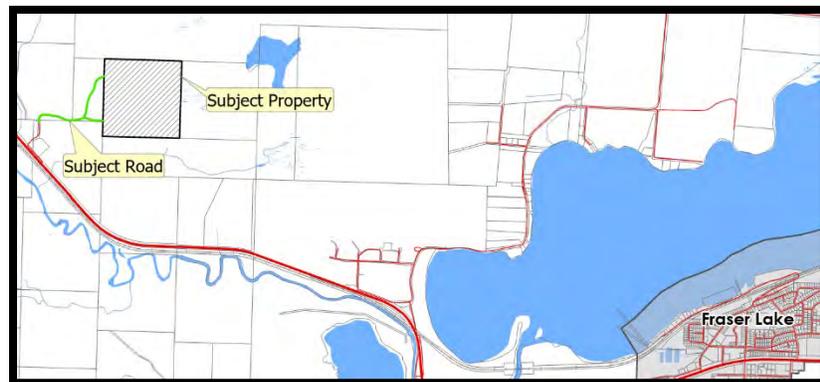
That the attached comment sheet be provided to the Province as the Regional District's comments on Crown Land application No. 7410220.

VOTING

All Directors / Majority

DISCUSSION

This application is for a Licence of Occupation for road use purposes on an existing but abandoned road that would enable Dayco Construction Ltd to access their private property. The subject road is 1.2 km long and is approximately 6.5 km northwest of Fraser Lake.



Although the applicant proposes no new construction, they plan to remove vegetation, grade, and plow the road regularly. No streams cross the subject road; however, the applicant intends to maintain six culverts to allow drainage into the Endako River.

ATTACHMENTS:

Comment Sheet



REGIONAL DISTRICT OF BULKLEY-NECHAKO
COMMENT SHEET ON CROWN LAND REFERRAL NO. 7410220

Electoral Area:	Area D
Applicant:	Dayco Construction Ltd.
Existing Land Use:	None
Zoning:	Rural Resource (RR1)
Plan Designation	Resource designation in Electoral Area D Fraser Lake Rural Official Community Plan Bylaw
Proposed Use Comply with Zoning:	Yes
If not, why?	NA
Agricultural Land Reserve:	No
Access:	Galiano Rd.
Building Inspection:	Yes
Fire Protection:	No
Other comments:	None



REGIONAL DISTRICT OF BULKLEY-NECHAKO
STAFF REPORT

TO: Chair Thiessen and Board of Directors
FROM: Maria Sandberg, Planning and Parks Coordinator
DATE: January 27, 2022
SUBJECT: Electoral Area Housing Needs Reports

RECOMMENDATION

That the Board receive the attached “RDBN Electoral Area Housing Needs Reports 2021”.

VOTING

All Directors / Majority

DISCUSSION

In 2018, the *Local Government Statutes (Housing Needs Reports) Amendment Act, 2019, S.B.C. 2018, c. 20* made amendments to the *Local Government Act* which requires local governments to complete housing needs reports by April 2022, and every five years thereafter. This report presents the “RDBN Electoral Area Housing Needs Reports 2021” to the Board for consideration. These reports meet the Province’s requirements for housing needs reporting, as outlined in Section 585 of the *Local Government Act*.

In January 2021, the Regional District made an application for UBCM grant funding for a housing needs report, which was subsequently approved in February for \$108,980. A request for proposals for the completion of housing needs reports for each of the RDBN’s seven electoral area was issued in early March 2021. In May, the Regional District awarded a contract to M’akola Development Services at a fee of \$102,950. The consultant has now completed a regional summary report and reports for each electoral area, attached as links to this staff report. The project is anticipated to be completed on or under budget.

The Province requires that the local government receive completed housing needs report by resolution at a meeting that is open to the public and that the reports be made accessible to the public on the local government’s website. The reports must also be considered by the RDBN during the development and review of its Official Community Plans (OCPs).

It is noted that staff recommend that future reports be prepared for each Electoral Area in conjunction with the applicable municipalities. It is not known if grant funding will be available for future housing needs reports. If grant funding is not available staff are able to complete the minimum work required to meet provincial legislation. A very rough estimate is that this work will take approximately 50 hours per Electoral Area.

ATTACHMENTS

[Click here to link to attachments](#)

RDBN Report Introduction and Regional Summary – Electoral Area Housing Needs Report

RDBN Electoral Area A – Smithers Rural

RDBN Electoral Area B – Burns Lake Rural

RDBN Electoral Area C – Fort St. James Rural

RDBN Electoral Area D – Fraser Lake Rural

RDBN Electoral Area E – Francois/Ootsa Lake Rural

RDBN Electoral Area F – Vanderhoof Rural

RDBN Electoral Area G – Houston Rural



PLANNING DEPARTMENT 2021 YEAR-END REPORT

RDBN Planning Department

37 3rd Ave, PO Box 820
Burns Lake, BC V0J 1E0
Email inquiries@rdbn.bc.ca
Website www.rdbn.bc.ca

Call us at: 250-692-3195
Toll free 1-800-320-3339
Fax 250-692-1220

YEAR -END REPORT 2021

This report provides an overview of the responsibilities of the Planning Department, the work undertaken by the Planning Department in 2021, and the statistics summarizing the applications and referrals processed by the Department in previous years.

The Planning Department gained two new staff members in 2021 to assist with the workload associated with Parks and Trails, and to replace a Senior Planner who resigned. The Planning Department's responsibilities include a range of interconnected activities as outlined below.

LONG RANGE PLANNING

Long Range Planning includes the preparation, review, and administration of the Regional District's seven Official Community Plans (OCPs). It also includes the development of planning studies, and policy development.

2021 Accomplishments

- Completed the Rural Vanderhoof Official Community Plan review that was started in 2019. The OCP bylaw was adopted by the Board in November.
- Started the Rural Fort St James OCP review at the end of 2021. In 2022, the Regional District will undertake a review of the District of Fort St. James OCP concurrently with the rural OCP review.
- Reported to the Board on a Parkland Dedication Policy for OCPs, regarding the provision of parkland or cash-in-lieu equivalency to the RDBN as part of the land subdivision process. The OCP amendment processes are anticipated to occur in early 2022.

CURRENT PLANNING

Current Planning involves the administration of the following land use and development-related bylaws.

- RDBN Zoning Bylaw No. 1800, 2020
- RDBN Floodplain Management Bylaw No. 1878, 2020
- RDBN Manufactured Home Park Bylaw No. 740, 1993
- RDBN Development Procedures Bylaw No. 1422, 2007
- RDBN Board of Variance Bylaw No. 1623, 2012
- RDBN Advisory Planning Commission Bylaw No. 1501, 2009
- RDBN Unightly Premises Bylaw No. 1649, 2012

This work includes processing, evaluating and developing recommendations to the Regional District Board regarding the following land use and development applications:

- OCP amendments and rezoning applications
- Development variance permit applications
- Development permit applications
- Temporary use permit applications
- ALR exclusion, inclusion, subdivision, non-adhering residential use and non-farm use applications
- Special event permit applications

Current Planning advises the Regional District Board and the Rural Directors Committee on the RDBN response to Crown Land referrals; Recreation Sites and Trails referrals; Ministry of Energy, Mines, and Petroleum Resources referrals; Oil and Gas Commission referrals; and telecommunications referrals. In addition, Current Planning involves responding to public inquiries on land use and development related issues.

2021 Accomplishments

- Presented a discussion paper "Gravel Extraction and Processing in Electoral Area A" to the Board.
- Presented an update to the discussion paper "Housing in the RDBN" to the Board.

- Provided updates to the Board regarding the Coastal GasLink Pipeline – Socio-economic Effects Management Plan (SEEMP).
- Reported updates to the Board regarding the Agricultural Land Commission's residential flexibility regulation changes.

GEOGRAPHIC INFORMATION SYSTEMS

GIS involves the digital storage, management, and mapping of spatial and other data, and management of house numbering. This activity provides support to all Regional District departments. Residents also rely on this service to obtain house numbers, maps, information on regulations, and other information regarding their property and community.

2021 Accomplishments

- Issued 264 new addresses in the rural area and processed 128 new addresses for municipalities and First Nations. The high number of new rural addresses is partly due to an initiative to assign addresses to water access only cabins in remote areas and upgrading Germansen Landing and Manson Creek communities to Next Generation 9-1-1 compatible addresses.
- The RDBN mapping website was replaced by a shared mapping initiative between the Regional District of Fraser-Fort George (RDFFG), RDBN and the Town of Smithers. The new mapping website means that mapping data for several local governments is available in one location, which saves time for users and creates efficiencies and opportunities for the partnering local governments. The District of Fort St James has recently joined the mapping initiative.
- Developing an RDBN Addressing policy.

- Prepared and completed threat assessment maps for the entire RDBN as part of the Community Vulnerabilities (Hazard, Risk, and Vulnerability Analysis) project.
- Completed OCP maps for the Area F OCP review.
- Gained access to, and training on, Emergency Management British Columbia's Common Operating Portal.
- Completed maps to improve understanding of wildfire threat levels throughout the region for the FireSmart program.

SPECIAL PROJECTS

Special Projects refers to a wide variety of projects that do not fit within the regular program of the Department and typically relate to unexpected events or activities that require immediate attention or involve a Provincial planning project. This most often includes participation in the Province's Environmental Assessment process as directed, and reporting to the Regional District Board on Provincial initiatives that potentially impact the Regional District.

2021 Accomplishments

- An Electoral Area Housing Report contract was awarded in May 2021 to M'akola Development Services. The consultant will present the completed Electoral Area Housing Needs Reports to the Board early in 2022.
- Participated in Rio Tinto's Water Engagement Initiative Meetings.
- Monitored the Mount Milligan Environmental Assessment Technical Advisory Planning process.
- Participated in and reported to the Board on the Hwy 27 to Berry Rd. Study.
- Participated in Lake Babine Nation Indigenous meetings regarding pipeline work camp issues.

BYLAW ENFORCEMENT

Bylaw Enforcement includes activities necessary to ensure adequate compliance to Regional District land use, development, and building bylaws. Activities include responding to and investigating complaints, working with the public to resolve bylaw infractions, reporting to the Board, and undertaking formal enforcement action through the Courts or as permitted through legislation.

2021 Accomplishments

- Staff worked with municipalities within the RDBN to develop a Bylaw Dispute Adjudication system.
- Worked through the legal process of obtaining a Consent Order to stop the operation of a scrap and salvage operation, avoiding a more lengthy Supreme Court injunction process.
- Provided Bylaw Enforcement services to the District of Houston.

BUILDING INSPECTION

Involves implementation and enforcement of RDBN Bylaw No. 1634, 2012 and RDBN Floodplain Management Bylaw No. 1878, 2020 in the rural area, throughout the building permit and inspection process.

The Building Inspectors also play a role in bylaw enforcement. The RDBN also provides building inspection services to the municipalities of Granisle, Burns Lake, Fort St. James, Telkwa, Houston and Fraser Lake on a contract basis.

2021 Accomplishments

- Started developing a new Building Bylaw, which staff plans to present to the Board in the spring of 2022.
- Provided Building Inspection coverage for the Town of Smithers during their Building Inspector's absence.

- Filed four Section 57s following contraventions of building regulations as per the Community Charter.
- Implemented a new quarterly reporting system to the Board of Directors.
- Processed an above-average number of building permits in the RDBN.
- Provided regional feedback to the Canadian Home Builders Association via the Advocacy & Government Relations Committee.
- Engaged in various Energy Step Code implementation groups.
- Completed several RDBN information brochures to aid in interpreting the BC Building Code.

TRANSIT

Responsibility of administrative duties for the Bulkley-Nechako Transit Service transitioned to the Planning Department in 2021. The RDBN is responsible for reviewing and approving service and performance standards based on operating and capital budgets set by BC Transit, establishing and collecting the fares and other revenues, and recommending the annual operating budget for BC Transit approval.

PARKS AND TRAILS SERVICE

Parks and Trails Service is a new function for the Planning Department that involves the creation, operation and marketing of Regional Parks and Regional Trails within the Electoral Areas. This function will also include a service that oversees the collection and distribution of funds to societies providing recreation services in the region.

PARKS AND TRAILS SERVICE CONTINUED

2021 Accomplishments

- Staff drafted a Parks and Trails Maintenance policy for RDBN Parks and Trails for Board approval.
- Facilitated a Municipal Insurance Association of BC (MIABC) liability review of RDBN parks.
- Wildfire Threat Assessment of RDBN parks was conducted by a consultant.

Electoral Area "A":

- Staff has spent a significant amount of time working with the Cycle 16 Trail Society and the Ministry of Transportation and Infrastructure on different aspects of the Cycle 16 trail project.
- A Trout Creek advisory group meeting was held to discuss opportunities for the site.
- Worked with the Round Lake Community Association regarding their waterfront upgrade project.
- Worked with Hudson Bay Mountain to find a parking solution for the "Trail to Town" skiers on Zobnick Rd.

Electoral Area "B":

- Obtained Ministry of Transportation and Infrastructure permits to formalize access and parking lot for Imeson's Beach.
- A Request for Proposal for "Imeson's Beach Parking Lot and Pedestrian Railway Crossing Detailed Design Project" has been issued and the contract is planned to be awarded in early 2022.

Electoral Area "E":

- Staff issued a request for quote for an outhouse facility for Hospital Point which is planned to be constructed in early summer 2022.

Electoral Area "F":

- A public engagement process for property owners around Cluculz Lake was initiated to determine the interest in establishing a regional boat launch on the lake. The survey results will be presented to the Board in 2022.



STATISTICS 2021

This section contains statistics, and historical data, regarding the activities that make up the majority of the day-to-day work undertaken by the Planning Department.

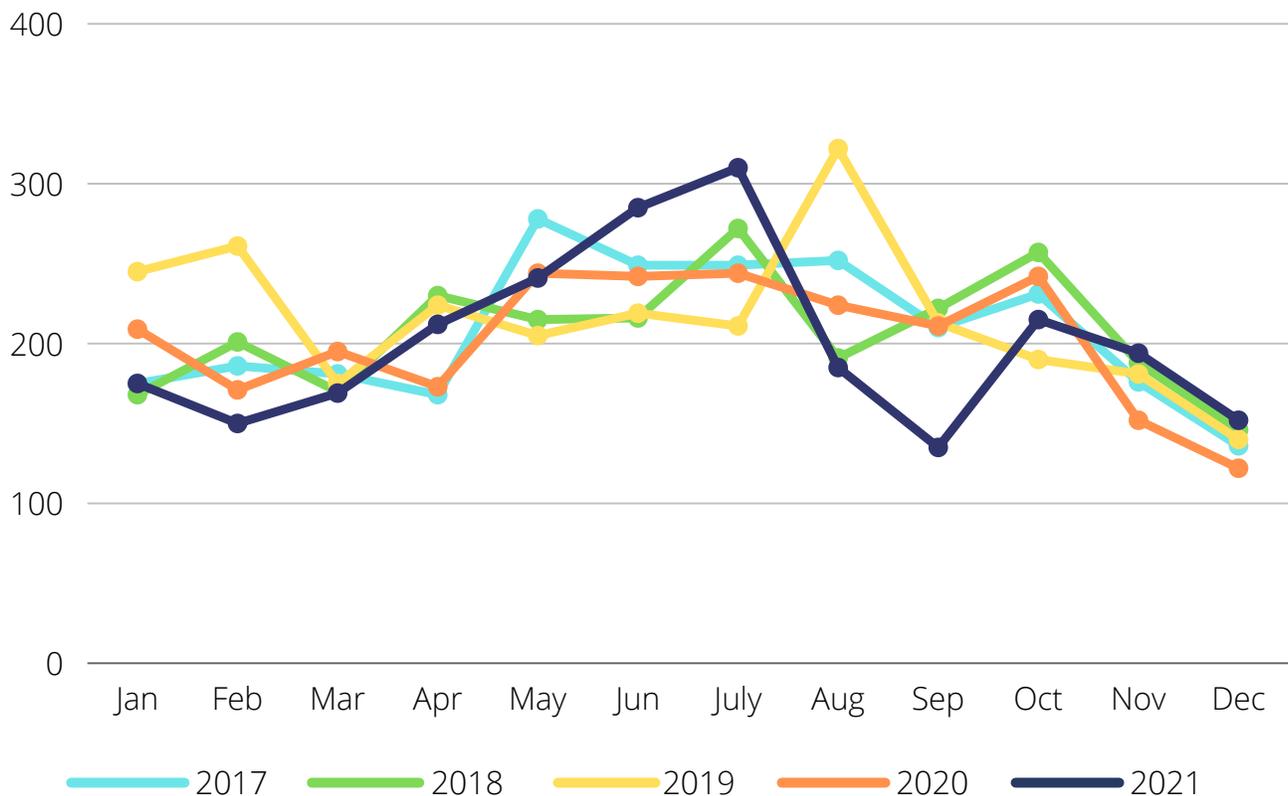
PLANNING DEPARTMENT ENQUIRIES

The Planning Department keeps track of the number of enquiries that are answered each month. The enquiries are divided into the following six main subject areas:

- Development Services (ALR, environmental assessments, subdivision, Crown Land)
- Electoral Area Planning (Zoning, OCPs, Permits)
- House Numbering

- Mapping Requests
- Bylaw Enforcement
- Other (Animal Control, Road Maintenance, Sewage)

In 2021, the Planning Department answered 2,423 enquiries. This number is very close to the 2,429 answered in 2020.

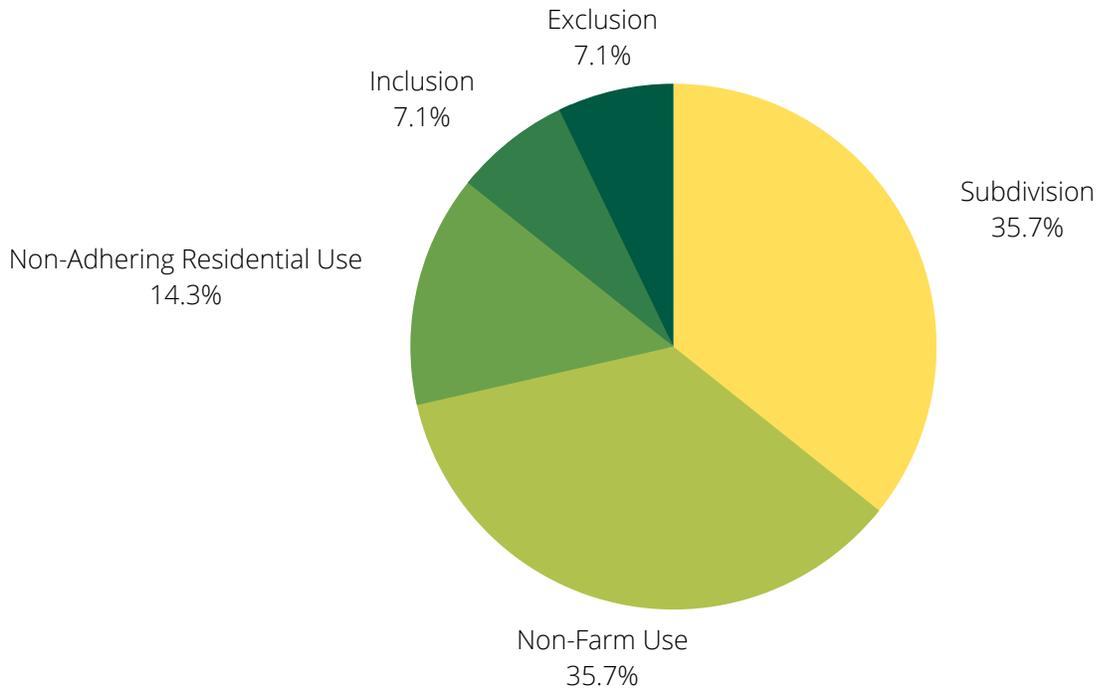


AGRICULTURAL LAND RESERVE APPLICATIONS

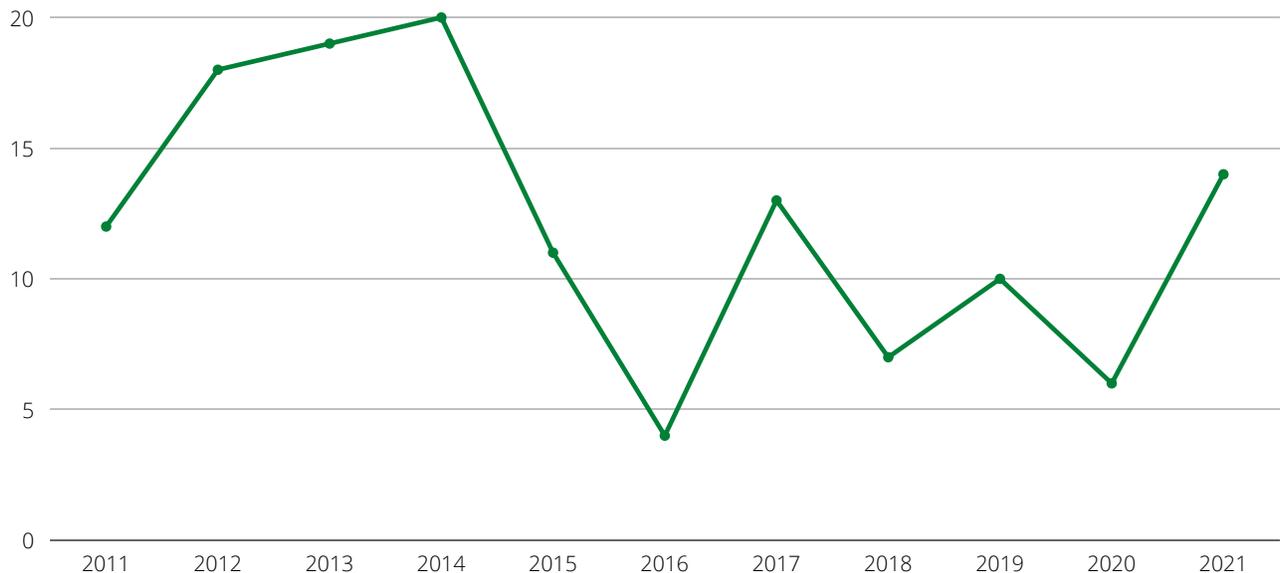
The Regional District processed 14 ALR applications in 2021, which is a notable increase from the six applications processed in 2020.

The Board recommended approval or conditional approval of 12 applications. Nine applications are awaiting ALC decisions.

2021 ALR Applications by Type



ALR Applications by Year



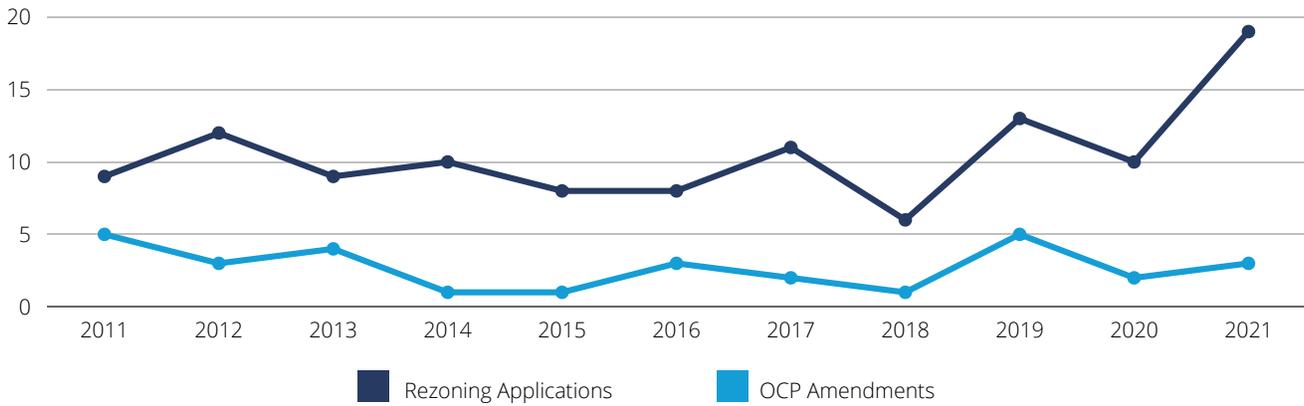
OFFICIAL COMMUNITY PLAN AMENDMENTS AND REZONING APPLICATIONS

Official Community Plan Amendment applications are usually linked to rezoning applications. There were three OCP amendment applications made in 2021, which is a slight increase from the two OCP amendments made in 2020. All three OCP amendment bylaws were adopted.

19 rezoning applications were processed in 2021. This is a significant increase from the ten applications received in 2020, although it is noted that four of the 2021 applications are staff initiated changes to the zoning bylaw.

Eight of the applications have been adopted, eight are still in process, one application was withdrawn, and two were denied. It is noted that almost half (42.9%) of the rezoning applications were made to rezone to the Small Holdings Additional Dwelling Zone.

OCP Amendment Applications vs. Rezoning Applications 2011-2021

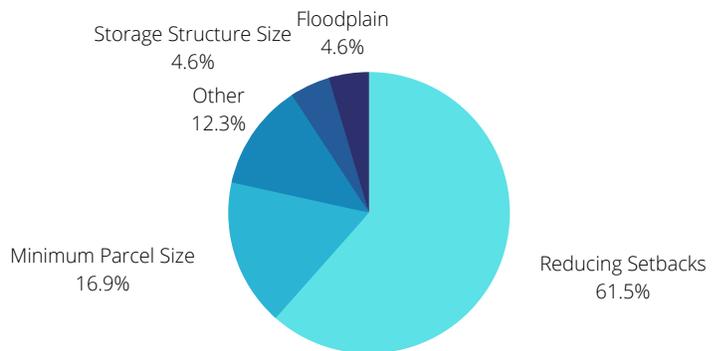


DEVELOPMENT VARIANCE PERMIT APPLICATIONS

Six development variance permit applications were received in 2021, which is a decline from the eight received in 2020.

All of the 2021 development variance permit applications asked to vary a setback to a parcel boundary or a natural boundary. Five applications were approved, and one was denied.

Development Variance Permits by Subject Ten-Year Average

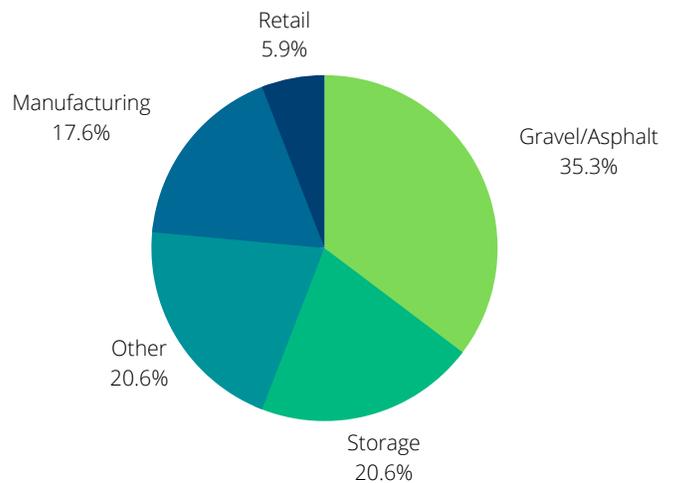


OTHER APPLICATIONS

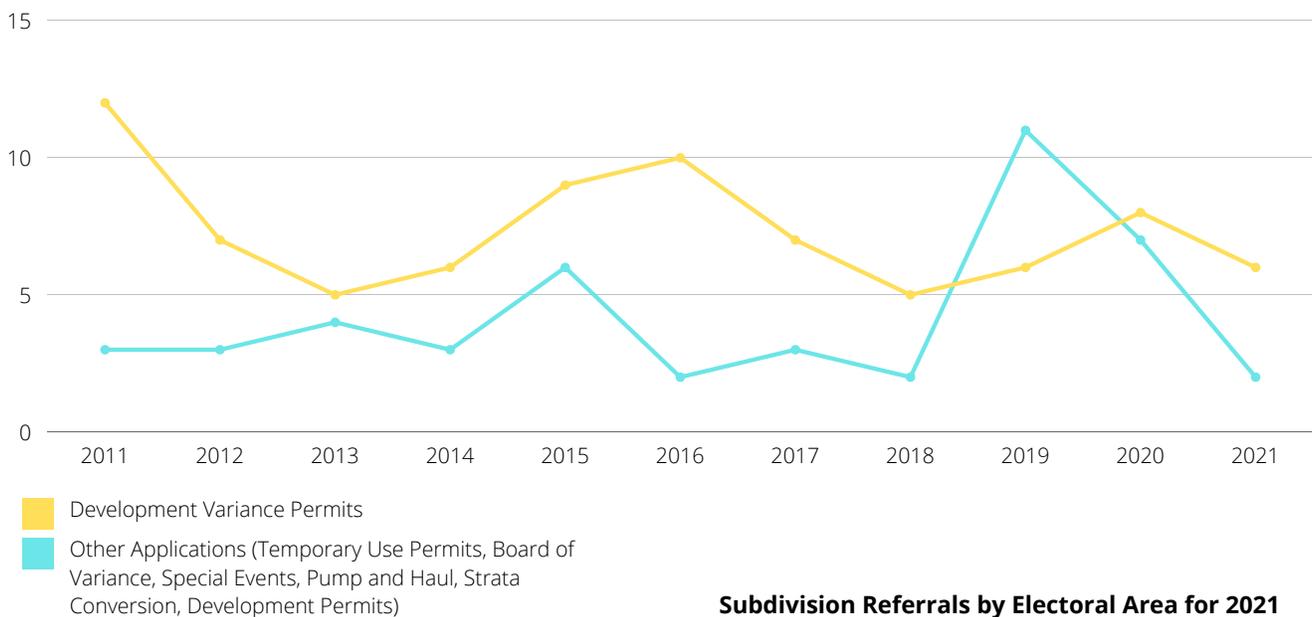
Other Applications include Board of Variance, Special Events, Pump and Haul, Temporary Use Permits, Strata Conversion, and Development Permits. This number of applications declined from eight in 2019, and seven in 2020, to two in 2021. The two 2021 applications were temporary use permit (TUP) applications.

There are significantly fewer TUP applications than the seven applications received in 2020 and the 10 applications received in 2019. It is noted that no TUP applications connected to pipeline construction were received this year.

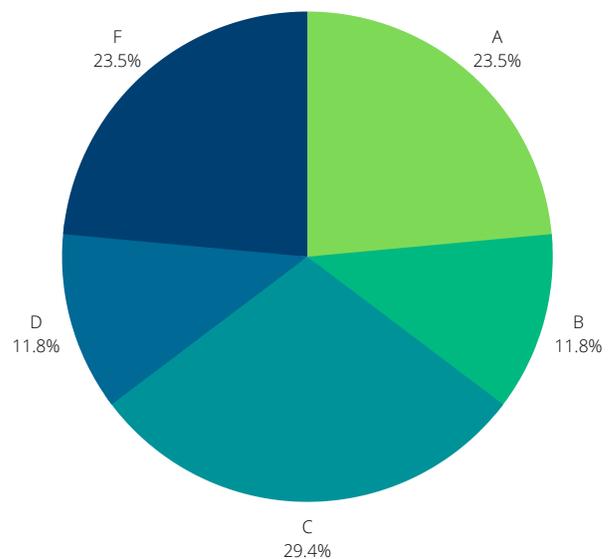
Temporary Use Permit By Subject from 2012-2021



Development Variance Permit Applications and Other Applications by Year



Subdivision Referrals by Electoral Area for 2021

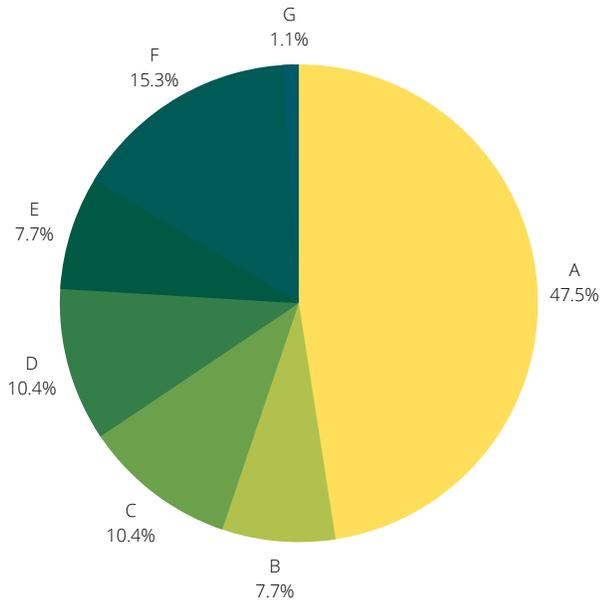


SUBDIVISION REFERRALS

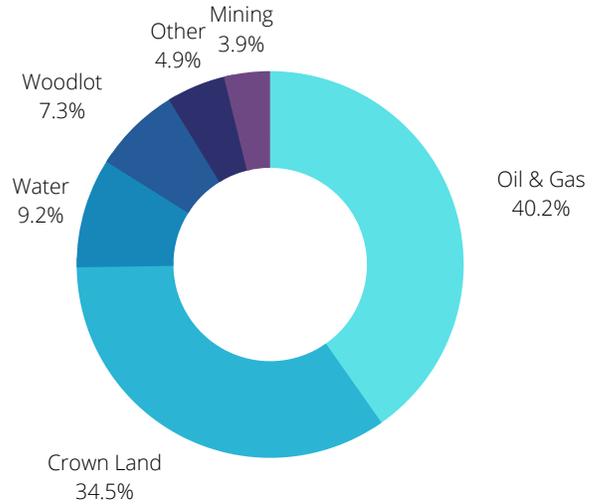
The Regional District received 17 subdivision referrals from the Ministry of Transportation and Infrastructure in 2021. This is an increase from the 12 referrals received in 2020.

Twelve referrals were provided positive or conditionally positive referral responses and five referrals were not in accordance with Regional District land use regulations.

Subdivision Referrals by Electoral Area from 2012 - 2021



Referrals by Type from 2012 - 2021

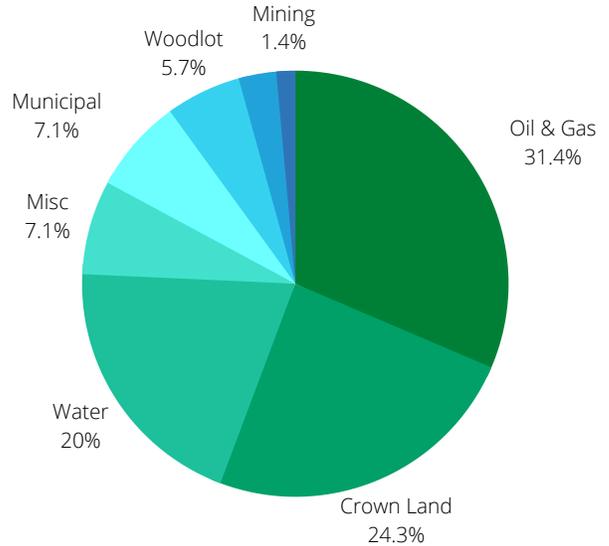


OTHER REFERRALS

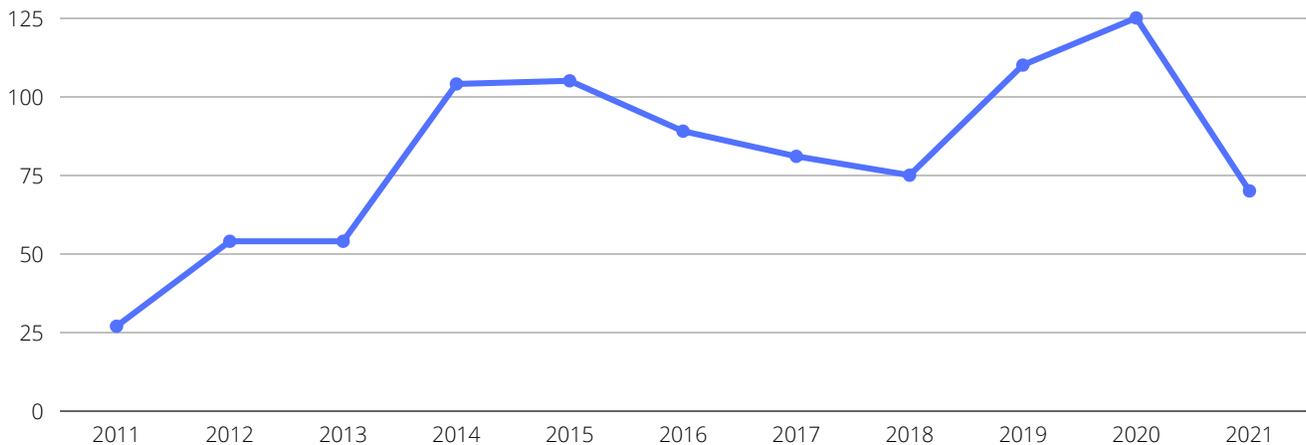
Other referrals include Crown land, mining, addition to reserve, municipal, Water Act, Oil and Gas, woodlot and miscellaneous. The Regional District received 70 other referrals in 2021 which is less than the 125 referrals received in 2020.

The number of Oil and Gas Commission referrals is down to 22 from 55 in 2020. In accordance with Board policy most Oil and Gas Commission Referrals are dealt with directly by the applicable Area Director and are not processed through the RDBN Board.

2021 Referrals by Type



Total Other Referrals from 2012-2021 (Oil & Gas, Mine, Recreation, Woodlot, Water Act, municipal misc)



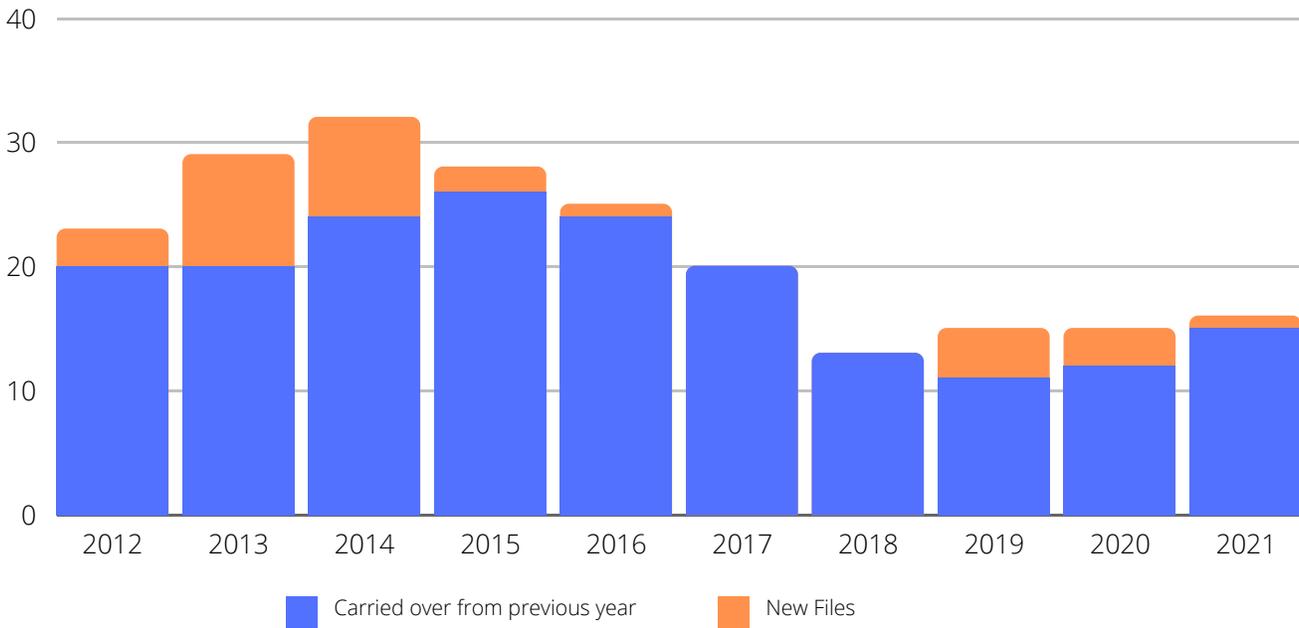
BYLAW ENFORCEMENT

Bylaw enforcement files are created where enforcement action is warranted, and no immediate resolution is forthcoming following discussions with the property owner. A file is not created if the staff investigation determines that a bylaw infraction has not occurred and if further

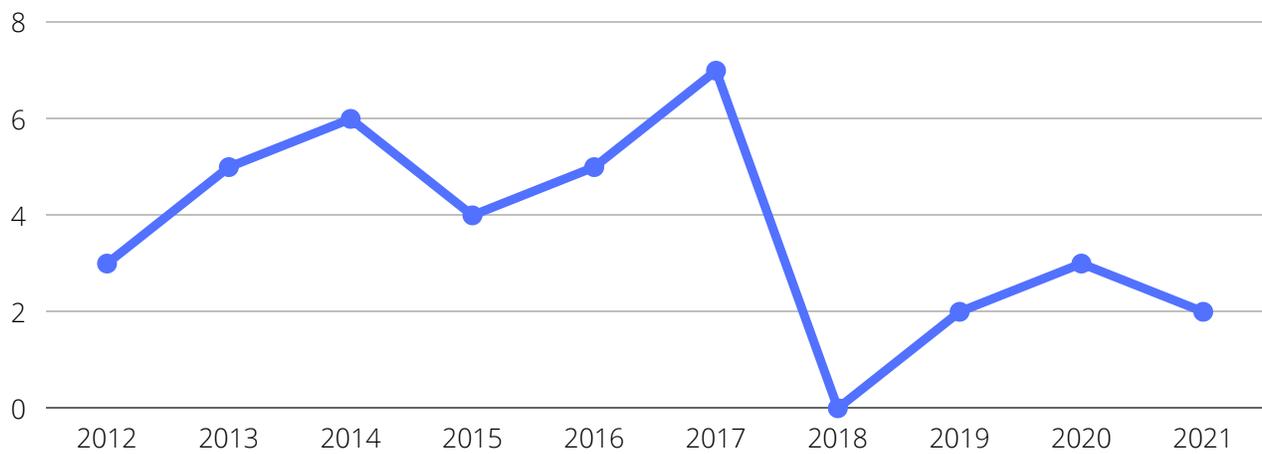
action is not justified, or if the infraction is resolved or likely to be resolved through discussions with the property owner. It is noted that there were numerous bylaw enforcement issues dealt with which did not result in a file being created.

Both the number of new files and the number of resolved files have declined in 2021 compared to 2020.

Composition of Total Bylaw Complaints: Carried Forward & New



Resolved Bylaw Files from 2012 -2021

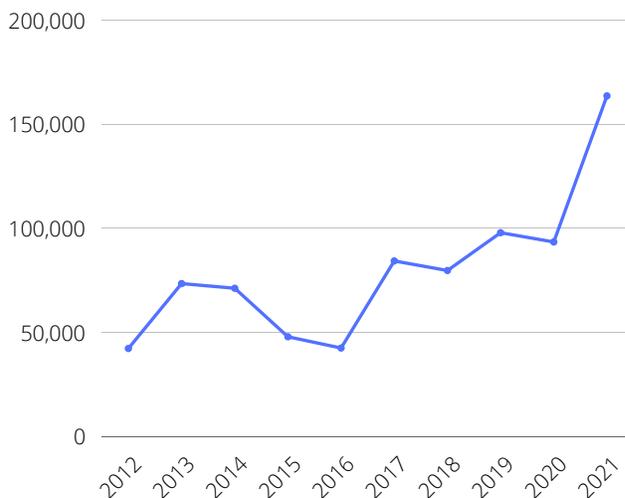


BUILDING PERMITS

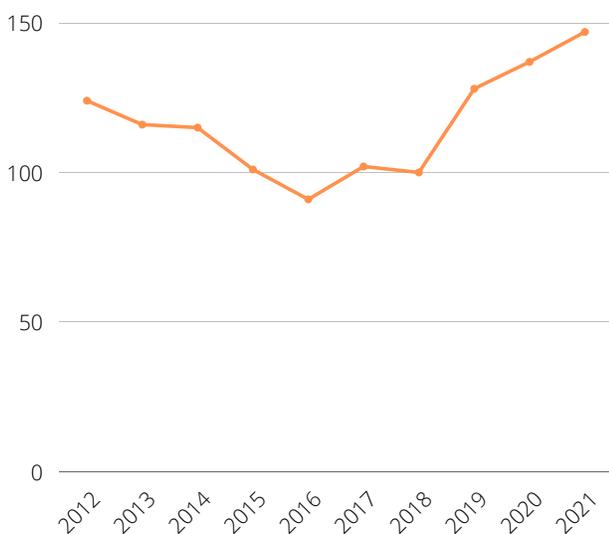
In 2021 there were 147 building permits received in the RDBN Electoral Areas. This figure has been steadily increasing since 2018. Naturally, the Building Permit fees have also increased during this timeframe and total construction value has almost doubled since 2020. This figure increased for every Electoral Area except "C" and "G".

The total number of Single Family Dwellings permitted in municipalities within the RDBN has increased from 25 in 2020 to 29 in 2021.

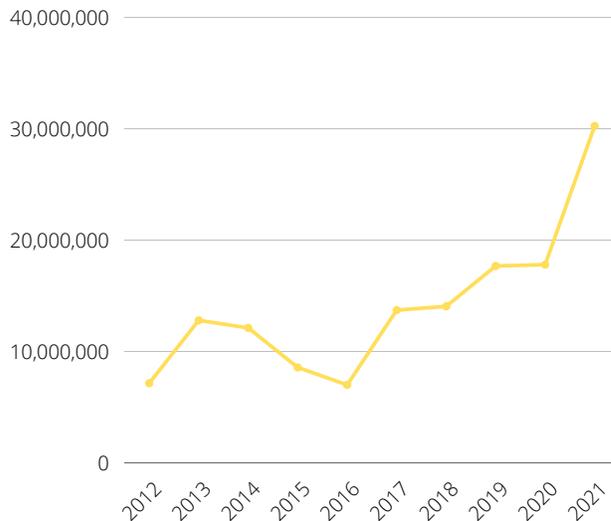
RDBN Building Permit Fees from 2012 - 2021



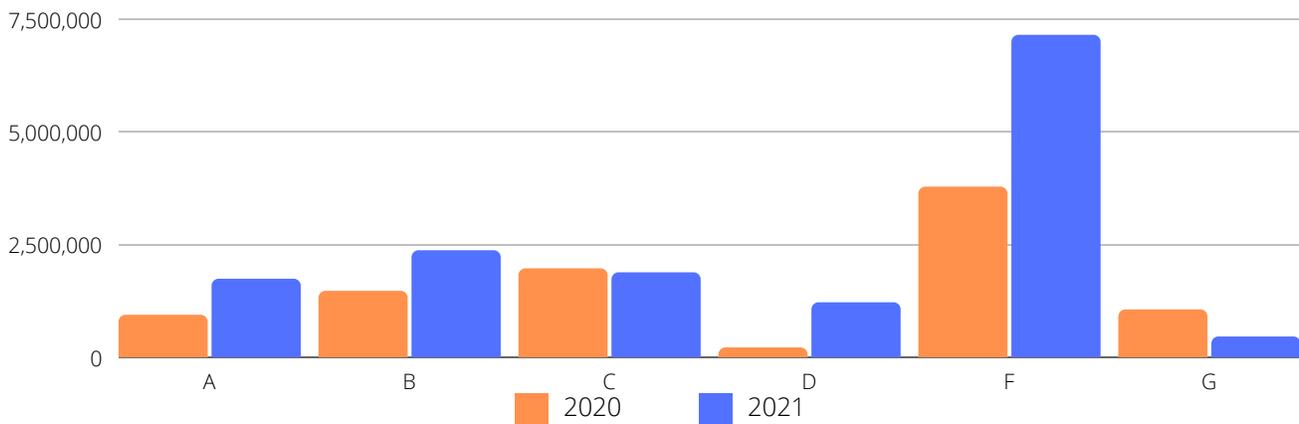
Total RDBN Building Permits Issued by Year from 2012 - 2021



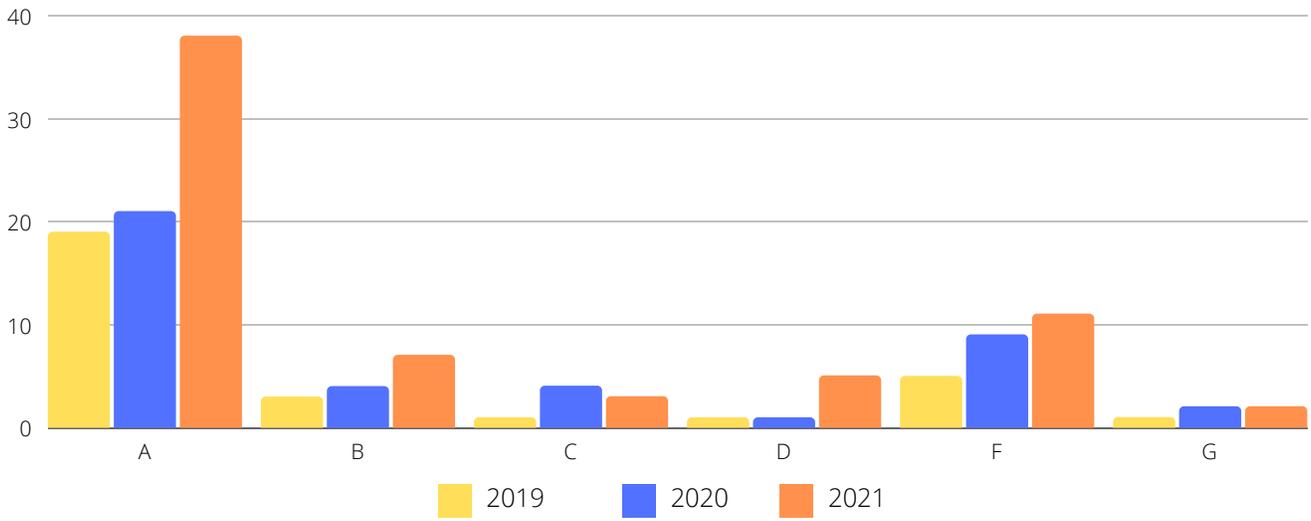
RDBN Construction Value of Permitted Buildings from 2012 - 2021



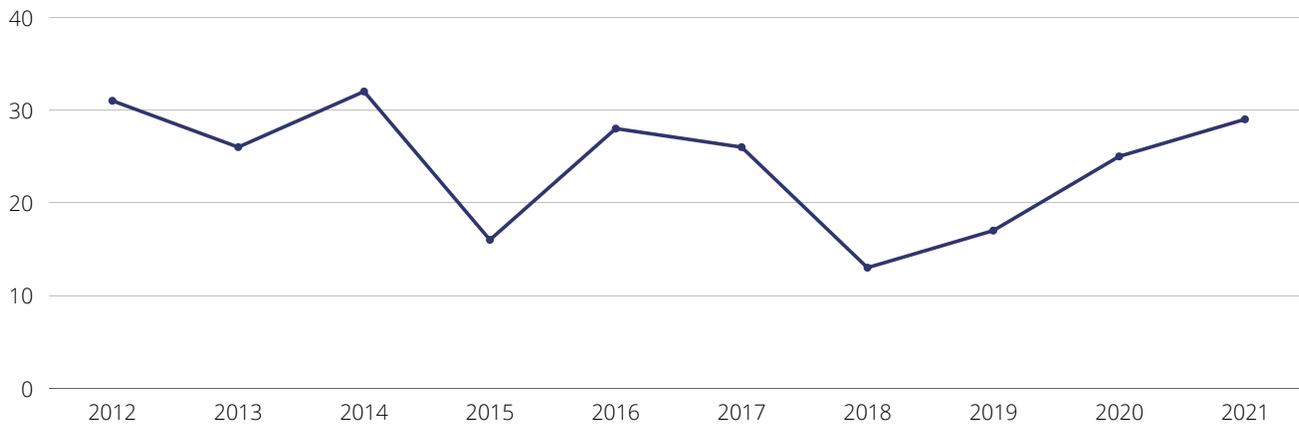
Total Value of Construction in RDBN 2020 vs. 2021



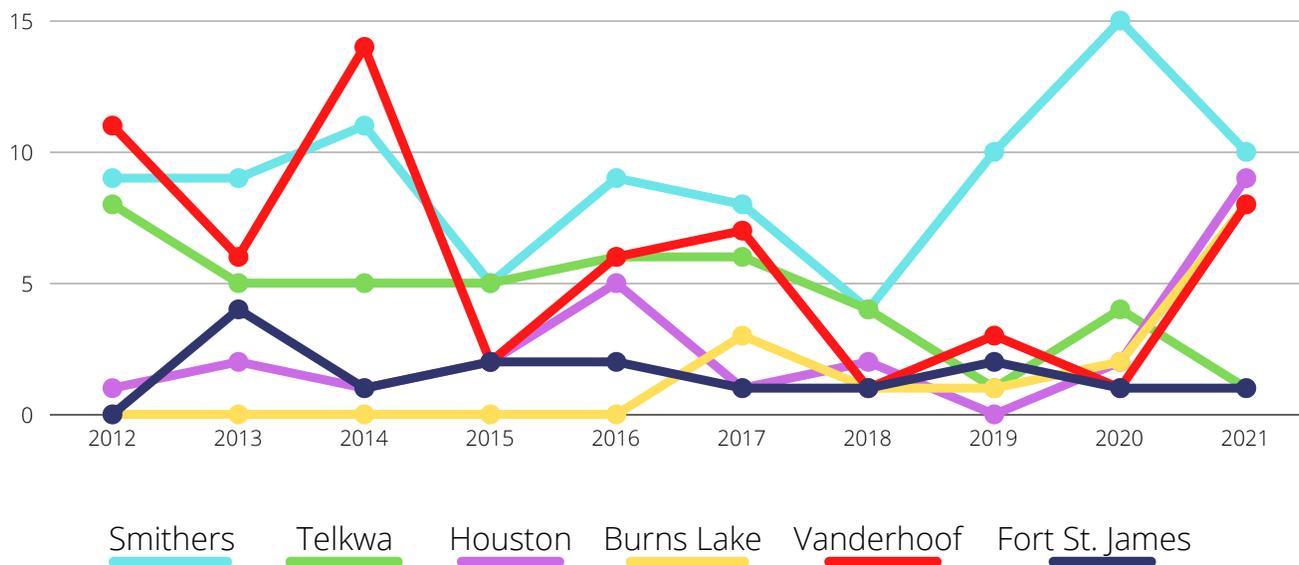
New Residences Constructed in each Electoral Area from 2019 - 2021



Total Single Family Dwellings Constructed within the Municipalities of the RDBN



Single Family Dwellings within the Municipalities of the RDBN



***One Single Family Dwelling was built in the Village of Fraser Lake in 2012, and one Single Family Dwelling was built in the Village of Granisle in 2012: they have been omitted from the above graph for clarity**

**REGIONAL DISTRICT OF BULKLEY-NECHAKO****STAFF REPORT**

TO: Chair Thiessen and Board of Directors
FROM: Jason Llewellyn, Director of Planning
DATE: January 27, 2022
SUBJECT: Bulkley Nechako Transit Service Summary Report

RECOMMENDATION

That the RDBN Board direct staff to:

1. Continue with the Transit Service Agreement with BC Transit for up to 5 years.
2. Renew the Community Transit Partnership Agreement with the City of Prince George for a further 5 years.
3. Work with First Nations and the Provincial and Federal Governments to establish a consistent, equitable, and manageable long term funding arrangement for transit service to First Nations communities.
4. Direct staff to report back to the Board with recommendations regarding amendments to "Regional District of Bulkley-Nechako Regional Public Transit and Para-Transit (Highway 16) Service Establishment Bylaw No. 1790, 2016" to include Electoral Areas and increase the requisition limit.

VOTING

All / Participants / Majority

EXECUTIVE SUMMARY

The following report provides a summary of the Bulkley Nechako Transit Service and makes recommendations regarding the continued operation of the service.

OVERVIEW OF TRANSIT SYSTEM OPERATIONS

The Bulkley Nechako Transit Service (BNTS) started operations in June of 2017. A component of the Province's Highway 16 Action Plan, the service was established to address the lack of public transportation along Highway 16 and to reduce hitchhiking along the Highway 16 corridor. Since its establishment, the BNTS has seen consistent ridership and has proven itself to be a valuable service to the region. In mid 2021 the Planning Department assumed responsibility for management of the service.

The service includes two routes that are based out of Burns Lake. Route 161 travels on Tuesday, Thursday, and Saturday making a round trip to Prince George. Route 162 travels on Monday, Wednesday, and Friday making a round trip to Smithers, with an additional midday run to Houston and back to Smithers before returning to Burns Lake. The cost of a one-way ride is \$5 and there is an option for riders to purchase a sheet of 10 tickets for \$45.

Service Establishment Bylaw No. 1790, 2016

["Regional District of Bulkley-Nechako Regional Public Transit and Para-Transit \(Highway 16\) Service Establishment Bylaw No. 1790, 2016"](#) was established for the purpose of providing the transit service within municipal boundaries. Electoral Areas are not part of the service and do not contribute taxation to the operation of the service. However, grant in aid support from Electoral Areas has been provided in past years.

The Bylaw authorizes a maximum annual requisition of \$90,000 for the cost of the service. The cost is apportioned between municipalities based on their population and the benefit factor for on-corridor participants of \$5 and the benefit factor for off-corridor participants is \$1.

Transit Service Agreement and Annual Operating Agreement

The service is a partnership between the RDBN and BC Transit. The terms of the partnership are outlined in the [Transit Service Agreement \(TSA\)](#) entered into in 2017, and [Annual Operating Agreements \(AOAs\)](#) entered into annually.

The TSA outlines the respective RDBN and BC Transit responsibilities as follows:

- The RDBN is responsible for reviewing and approving service and performance standards based on operating and capital budgets set by BC Transit, establishing and collecting the fares and other revenues, and recommending the annual operating budget for BC Transit approval.

- BC Transit is responsible for setting the annual budget, leasing transit vehicles to the transit service operator, managing the contract with the transit service operator, marketing, and conducting service audits and recommending standards of service to the RDBN.

The TSA and AOA do not contain any agreement regarding the cost sharing formula between the RDBN and BC Transit. The agreement is by [letter from the Minister of Transportation and Infrastructure \(MoTI\)](#). The Ministry has agreed to maintain their funding of 66.7% of costs for the BNTS until March 31, 2025 for operational costs only. A conventional transit system is funded by BC Transit at 46.69%. BC Transit has also agreed to cover 25% of the cost of the RDBN's Transit Coordinator position until March 2023. This is roughly equivalent to the staff time spent on BNTS annually. There is no agreement for cost sharing for future capital costs.

The TSA expires in March 2022, after which it continues until terminated by either party with 180 days notice. This report seeks the Board's direction to continue operating under the Transit Service Agreement for up to an additional 5 years.

The AOA outlines the RDBN and BC Transit's agreement on the following:

- Service levels including routes and schedules.
- Fares and associated terms and conditions.
- The annual budget, including all capital and operational costs for the service.
- Procedures and ownership of capital assets.

Bus Stops and Transit Shelters

When the transit service was established in 2017 MoTI entered into written agreements with municipalities and First Nations (Vanderhoof, Fraser Lake, Burns Lake, Houston, and Wet'suwet'en First Nation) that MoTI would build the Bus Stops and Transit Shelters and that the municipality and First Nation would be responsible for maintenance and any associated liability for the shelters.

MoTI built the bus stops and transit shelters in the rural area. The RDBN has not agreed to be responsible for replacement or maintenance of any of the infrastructure in the rural area.



However, BC Transit staff have indicated that this is their expectation for new infrastructure. In staff's opinion this is an area for future negotiation under the AOA process as the RDBN and BC Transit must agree on any new bus stop or transit shelter related costs. Snow clearing around bus stops in the rural area is undertaken by MoTI contractors, and the Town of Smithers empties the garbage at the Laidlaw Road bus stop.

Infrastructure Requests and BC Transit Grants

Requests for all new bus shelters or bus stops in the rural area, in municipalities and on First Nations reserves must be made by the RDBN, and only the RDBN can access grant funding annually for 80% of new shelters through BC Transit's Shelter Program. Under the grant program 20% of shelter construction and installation costs and cost overruns is the responsibility of the RDBN unless a different funding arrangement is negotiated in the AOA. This includes new infrastructure on reserve.

Bus Replacement

When the transit service was established in 2017 BC Transit supplied the 3 buses required to operate the service. The buses have a 30 passenger capacity and are equipped with wheelchair lifts. These buses are scheduled for replacement in 2023. The Province has not yet committed to specific financial assistance for bus replacement and indicates that the RDBN may have to contribute to vehicle replacement if federal funding is not available to cover the RDBN's share.



In a conventional system lease fees are a cost share between the local government partner and BC Transit. The total monthly lease cost for each of the light duty buses that are in service for the BNTS would be \$3,092. This is the standard lease fee rate charged for all light duty buses, then depending on the funding agreement with BC Transit, the Local Government would pay their share. If the BNTS was a conventionally funded system this would translate to an annual cost to the RDBN of \$24,488 per bus and if lease payments were funded under the current funding formula the annual cost to the RDBN would be \$12,244 per bus.

RIDERSHIP

Ridership numbers have consistently exceeded expectations on both the 162 and 161 routes. The following table provides 2021 ridership numbers. The BNTS was one of the few systems in the province where Covid-19 had little effect on ridership numbers.

2021 Total Monthly Boardings

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
161	227	249	353	253	295	301	364	357	320	324	258	312
162	125	118	164	158	136	242	176	163	118	150	161	135

Riders Survey

A survey of riders was conducted in 2017 (November), 2018 (March, July, and December), and 2019 (May and November) to better understand where transit riders live. A total of 23% of riders filled out the survey over the six different months it was offered. Results indicated that rural ridership was slightly higher than municipal ridership. The survey report was presented at the [October, 2020 Regional Transit Committee Meeting](#).

OPERATING COSTS

The 33.3 percent of costs that the RDBN is responsible for paying to BC Transit annually was \$136,811 in 2021. This cost is recovered as follows:

Bylaw No. 1790 Taxation	First Nations Contribution	Fares	City of Prince George	TOTAL
\$63,725	\$2,500	\$20,586	\$50,000	\$136,811

The City of Prince George has agreed to renew their agreement to contribute \$50,000 annually to the service for a further 5 years. The new [draft Community Transit Partnership Agreement with the City of Prince George](#) is attached and staff are seeking direction to enter into this agreement.

OUTSTANDING LONG TERM FUNDING ISSUES

Electoral Area Participation

As half of the users of the service appear to live in the rural area staff have previously raised the idea of including Electoral Areas within the service area under Bylaw 1790 to better distribute the costs associated with operating the service. This would also help resolve infrastructure funding challenges associated with maintaining service (capital cost-bus replacement), and improving service outside of municipalities.

The conversation about future funding and the impact of Electoral Areas joining the transit service began at the [June 4, 2020 Rural/Agriculture Committee Meeting](#), where the Board received a memo from the Chief Financial Officer, and the recommendation was deferred.

RDC.2020-5-7 "That the Rural/Agriculture Committee recommend to the Board that Bylaw No. 1790 be amended to include the entire Regional District as the Service Area and increase the maximum requisition amount in the bylaw to \$150,000."

A memo was brought back to the [November 5, 2020 Rural/Agriculture Committee Meeting](#). The committee received the memo and suggested that at future meeting focus on the Regional Transit Service.

Requisition Limits

The Board is expected to reach the taxation limit established under "Regional District of Bulkley-Nechako Regional Public Transit and Para-Transit (Highway 16) Service Establishment Bylaw No. 1790, 2016" in the near future. This bylaw should be amended to increase the limit to maintain current service levels long term. Should Electoral Areas agree to participate in the service, electoral consent through an alternative approval process may be required.

The Cost Share Analysis table on the next page shows the details of funding for the service in 2021 and compares that to the funding distribution if all users of the system contributed equally based on population (using the same on and off corridor funding formula used by the municipalities under Bylaw 1790). It is noted that these numbers are based on estimated actuals for 2021.

Cost Share Analysis Table

		Population	Percentage of costs based on population	2021 Actual	2021 Amounts based on equal contribution
	On Corridor				
Municipalities*	Smithers	5,401	15.95%	\$ 19,886	\$ 10,561.54
	Telkwa	1,327	3.92%	\$ 4,886	\$ 2,594.92
	Houston	2,993	8.84%	\$ 11,020	\$ 5,852.75
	Burns Lake	1,779	5.25%	\$ 6,550	\$ 3,478.80
	Fraser Lake	988	2.92%	\$ 3,638	\$ 1,932.01
	Vanderhoof	4,439	13.11%	\$ 16,344	\$ 8,680.37
Electoral Areas*	Electoral Area A	5,256	15.52%	\$ -	\$ 10,277.99
	Electoral Area B	1,938	5.72%	\$ -	\$ 3,789.72
	Electoral Area D	1,472	4.35%	\$ -	\$ 2,878.46
	Electoral Area F	3,665	10.82%	\$ -	\$ 7,166.83
	Electoral Area G	903	2.67%	\$ -	\$ 1,765.80
Partners**	Lake Babine Nation	1,417	4.18%	\$ -	\$ 2,770.91
	Wet'suwet'en First Nation	94	0.28%	\$ -	\$ 183.81
	Burns Lake Band	48	0.14%	\$ -	\$ 93.86
	Stellat'en First Nation	225	0.66%	\$ 1,250	\$ 439.98
	Nadleh Whut'en First Nation	273	0.81%	\$ 1,250	\$ 533.85
	Saik'uz First Nation	347	1.02%	\$ -	\$ 678.55
	Off Corridor				
Municipalities*	Fort St. James	1,598	0.94%	\$ 1,177	\$ 624.97
	Granisle	303	0.18%	\$ 223	\$ 118.50
Electoral Areas*	Electoral Area C	1,415	0.84%	\$ -	\$ 553.40
	Electoral Area E	1,593	0.94%	\$ -	\$ 623.02
Partners**	Takla First Nation	221	0.13%	\$ -	\$ 86.43
	Binche Whut'en	-	0.00%	\$ -	\$ -
	Yekooche First Nation	112	0.07%	\$ -	\$ 43.80
	Tl'az'en First Nation	502	0.30%	\$ -	\$ 196.33
	Nak'azdli Whut'en	524	0.31%	\$ -	\$ 204.93
	Nee Tahi Buhn Band	15	0.01%	\$ -	\$ 5.87
	Skin Tyee First Nation	59	0.03%	\$ -	\$ 23.07
	Cheslatta Carrier Nation	165	0.10%	\$ -	\$ 64.53
	Totals	39,072	1	\$ 66,225	\$ 66,225
Prince George***				\$ 50,000	\$ 50,000
	Total with Prince George			\$ 116,225	\$ 116,225
	*population numbers from 2016 Census				
	**population numbers from Indigenous and Northern Affairs Canada Registered On-Reserve population 2017				
	***Prince George amount is established through a Partnership Agreement				

First Nations Contribution

First Nations participation in the service is not consistent. Of the six on-route First Nation communities 3 do not contribute. One of those non-contributing communities has a bus stop. None of the off-route communities contribute. All First Nations participation is on an annual basis and is not secured by agreement.

Staff would like to identify a structure for First Nations participation that is consistent, equitable, and manageable for the RDBN. This may involve opening discussions with local First Nations and the Provincial and Federal Governments to help identify a better approach to funding.

Service Improvements

Next Ride is a BC Transit initiative to install Automatic Vehicle Location AVL technology on buses across the province. This technology enables customers to use web browsers and smart mobile devices to see the location of their bus along its route and its predicted arrival time at an identified stop. The addition of NextRide technology on BNTS buses would improve safety for the transit system. BC Transit has indicated that this technology may be available to us as soon as 2022. Efforts will continue to have NextRide technology utilized with the BNTS.

One of the challenges faced on Route 161 is the unpredictability of riders catching the bus in Vanderhoof when they are traveling into town with expectations to get on the bus. With the approaching replacement of buses, determining adequate bus size is important. There have been incidents of people left behind (pass-ups) due to a full bus on Route 161. Pass-ups are not common but given the fact that there is no other bus, these incidents are concerning. High ridership on Route 161 is also a limiting factor when talking about additional services feeding into the BNTS, particularly at the eastern end of the system. The conversation has been started with the Province to ensure that adequate bus size is considered when the buses are replaced in 2023.

ATTACHMENTS

1. ["Regional District of Bulkley-Nechako Regional Public Transit and Para-Transit \(Highway 16\) Service Establishment Bylaw No. 1790, 2016"](#)
2. [Transit Service Agreement \(TSA\)](#)
3. 2021/2022 [Annual Operating Agreements \(AOAs\)](#)
4. [letter from the Minister of Transportation and Infrastructure \(MoTI\).](#)
5. [October, 2020 Regional Transit Committee Meeting .](#)
6. [June 4, 2020 Rural/Agriculture Committee Meeting](#)
7. [November 5, 2020 Rural/Agriculture Committee Meeting](#)



REGIONAL DISTRICT OF BULKLEY-NECHAKO

MEMORANDUM

TO: Chairperson Thiessen and Board of Directors

FROM: Wendy Wainwright, Executive Assistant

DATE: January 27, 2022

SUBJECT: Committee Meeting Recommendations
– December 16, 2021 and January 13, 2022

RECOMMENDATION: (ALL/DIRECTORS/MAJORITY)

Recommendations 1 to 5 as written.

The following are the recommendations from the December 13, 2021 and January 13, 2022 Committee Meetings for the Regional Board's consideration and approval.

Rural/Agriculture Committee – December 13, 2021

Recommendation 1:

Re: Minor Service Budgets

“That the budgets discussed in the Chief Financial Officer’s Minor Services memorandum be included in the 2022 Financial Plan.”

Natural Resources Committee – January 13, 2022

Recommendation 2:

Re: Write a Letter RE: Harmonizing Stumpage Policy for Community Forests

“That the Board write a letter in regard to the concerns and impacts of Harmonizing the Stumpage Policy for Community Forests.”

Rural/Agriculture Committee – January 13, 2022

Recommendation 3:

Re: Minor Fire Services

“That the budgets discussed in the Minor Fires Services memorandum be included in the 2022 Financial Plan.”

Recommendation 4:

Re: COVID-19 Relief Funds – Application Approval

“That the Board approve the following applications for COVID-19 Relief Funds:

-Electoral Area C (Fort St. James Rural)

- Fort St. James Curling Club - Utilities and Ice Preparation - \$4,932.18
- Fort St. James Speed Skating Club – Ice Fees for 2021/22 Session - \$5,000.00.”

Waste Management Committee – January 13, 2022

Recommendation 5:

Re: Write a Letter to Recycle BC

“That the Board write a letter to Recycle BC providing an outline of the current supply issues RDBN Recycling Depots are experiencing and what is required to address the issue; and further, that the letter be cc'd to Ministry of Environment and Climate Change Strategy, Green for Life Environmental Inc., John Rustad, MLA Nechako Lakes and Nathan Cullen, MLA Bulkley Stikine.”



Regional District of Bulkley-Nechako

To: Board of Directors
From: John Illes, Chief Financial Officer
Date: January 27, 2022
Re: RDBN Five Year Financial Plan Bylaw No. 1971, 2022

Recommendation (All/Directors/Majority):

That the Board give first and second reading to RDBN Five Year Financial Plan Bylaw No. 1971, 2022.

Discussion:

As directed at the last committee meeting, staff have prepared a bylaw to begin the budget adoption process.

The Regional District utilizes Statistics Canada, December to December, not seasonally adjusted, consumer price index for British Columbia to adjust various fees and charges, staff and director wages. As the previous presentation had estimated CPI to be 3.8% and the actual amount was 3.9%, the budget has undergone some minor changes to account for this additional information.

Included in this memo are the updated draft requisition and major services budget summary.

Additional supporting detail for the budget will be brought forward to the meeting as a supplementary item.

Attachments:

Bylaw No. 1971
 Bylaw Summary for 2022 (only)
 Draft Requisition overview
 Draft Requisition by Jurisdiction
 Major Services Budget Summary
 Budget Memo from January 20, 2022 Committee Meeting

Regional District of Bulkley-Nechako
2022 to 2026 Financial Plan - Bylaw No. 1971 Schedule A Page 2

Service	2022					TRANSFERS From/(To)		2022					2023					2024					2025					2026									
	Reserve Funds	Surplus of Prior Year	Surplus of Prior Year	Equity CASH	Equity NON CASH																																
1101 Rural Government Services	(109,563)	(168,563)	(168,563)	(168,563)	(113,563)																																
1131 Area "A" Grant in Aid						25,823	0																														
1132 Area "B" Grant in Aid						28,311	0																														
1133 Area "C" Grant in Aid						(2,059)	0																														
1134 Area "D" Grant in Aid						35,653	0																														
1135 Area "E" Grant in Aid						40,641	0																														
1136 Area "F" Grant in Aid						13,185	0																														
1137 Area "G" Grant in Aid						13,314	0																														
1200 General Government Services	(35,000)	(155,000)	(155,000)	(155,000)	(105,000)	134,000	0	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	80,000	
1206 Nechako Watershed/Fraser Basin Council						9,143	0																														
1301 Feasibility Studies						47,462	0																														
1501 Local Community of Fort Fraser						8,288	0																														
1701 Chinook Community Forest						321	0																														
2401 Area "A" Economic Development						24,500	0																														
2402 Area "B" Economic Development						(349)	0																														
2403 Area "C" Economic Development							0																														
2404 Area "D" Economic Development							0																														
2405 Area "E" Economic Development							0																														
2406 Area "F" Economic Development						11,077	0																														
2407 Area "G" Economic Development							0																														
2500 Regional Economic Development						86,628	0																														
3101 Member Fiscal Services							0																														
4101 Planning							0																														
4201 Building Inspection	0	0	30,000	(10,000)	(10,000)			12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	12,485	
4301 Development Services							0																														
4401 Building Numbering Extended Service							0																														
4501 Unsigthly Premises Regulatory Control							0																														
4601 Bylaw Enforcement	(10,500)	(10,500)	(10,500)	(10,500)	34,500			0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
5101 Environmental Services	0	0	0	0	0	1,500,000	0	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	700,000	
5901 Invasive Plant Control						21,988	0																														
5902 Lake Kathlyn Aquatic Weed Harvesting						583	0																														
5903 Glacier Gulch Water Diversion						615	0																														
6101 Ft. Fraser Sewer System	(82)	(12,082)	(12,082)	(12,082)	(12,082)	33,113	0	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	16,000	
6201 Ft. Fraser Water System	44,860	(35,140)	(35,140)	(35,140)	(35,140)	15,088	0	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	100,000	
6301 Cluculz Lake - Somerset Estates Sewer	(13,236)	(200)	(200)	(3,013)	(3,013)	15,366	0																														
6401 Pump & Haul Sewer Disposal							0																														
6402 Liquid Waste Disposal						4,959	0																														
7101 Ft. Fraser Fire Protection	658,145	(15,000)	(15,000)	(15,000)	(15,000)	32,089	0	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	10,800	
7102 Southside Rural Fire Protection						3,398	0	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	18,000	
7103 Topley Rural Fire Protection	(4,800)	(8,400)	(8,400)	(8,400)	(8,400)	(1,196)	0	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	23,000	
7201 Burns Lake Rural Fire Protection							0																														
7202 Ft.St.James Rural Fire Protection							0																														
7203 Houston Rural Fire Protection							0																														
7204 Luck Bay Rural fire Protection	(1,000)	(1,000)	(1,000)	(1,000)	(1,000)		0	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	9,300	
7205 Smithers Rural Fire Protection	0	0	0	0	0		0																														
7206 Telkwa Rural Fire Protection																																					

Regional District of Bulkley-Nechako
2022 to 2026 Financial Plan - Bylaw No. 1971 Schedule A Part 3

Schedule "A"

Service	2022		2023		2024		2025		2026		2022		2023		2024		2025		2026		2022	2022	2023	2024	2025	2026	
	Debt Payments Int and Princ	Capital Expenditures	2022 Amortization NON CASH EXPENSE	2023 Amortization NON CASH EXPENSE	2024 Amortization NON CASH EXPENSE	2025 Amortization NON CASH EXPENSE	2026 Amortization NON CASH EXPENSE	2022	2023	2024	2025							2026									
1101 Rural Government Services																											
1131 Area "A" Grant in Aid																											
1132 Area "B" Grant in Aid																											
1133 Area "C" Grant in Aid																											
1134 Area "D" Grant in Aid																											
1135 Area "E" Grant in Aid																											
1136 Area "F" Grant in Aid																											
1137 Area "G" Grant in Aid																											
1200 General Government Services																											
1206 Nechako Watershed/Fraser Basin Council																											
1301 Feasibility Studies																											
1501 Local Community of Fort Fraser																											
1701 Chinook Community Forest																											
2401 Area "A" Economic Development																											
2402 Area "B" Economic Development																											
2403 Area "C" Economic Development																											
2404 Area "D" Economic Development																											
2405 Area "E" Economic Development																											
2406 Area "F" Economic Development																											
2407 Area "G" Economic Development																											
2600 Regional Economic Development																											
3101 Mental Health Services																											
4101 Planning																											
4201 Building Inspection																											
4301 Development Services																											
4401 Building Numbering Extended Service																											
4501 Unhealthy Premises Regulatory Control																											
5101 Bylaw Enforcement																											
5101 Environmental Services																											
5901 Invasive Plant Control																											
5902 Lake Kabinj Aquatic Weed Harvesting																											
5903 Glacier Gulch Water Diversion																											
6101 Fl. Fraser Sewer System																											
6201 Fl. Fraser Water System																											
6301 Cluculz Lake Sewer Estates Sewer Pump & Haul Sewer Disposal																											
6402 Liquid Waste Disposal																											
7101 Fl. Fraser Fire Protection																											
7102 Southside Rural Fire Protection																											
7103 Topley Rural Fire Protection																											
7201 Burns Lake Rural Fire Protection																											
7202 Ft. St. James Rural Fire Protection																											
7203 Houston Rural Fire Protection																											
7204 Luck Bay Rural Fire Protection																											
7205 Smithers Rural Fire Protection																											
7206 Telkwa Rural Fire Protection																											
7207 Vanderhoof Rural Fire Protection																											
7208 Round Lake Fire Protection																											
7301 Cluculz Lake Emergency Response																											
7501 9-1-1 Service																											
7601 Emergency Preparedness Planning																											
7701 Burns Lake & Area Victim Services																											
7702 Smithers Victim Services																											
8101 Lakes District Airport																											
8202 FSI Services-Helios Services Transportation & Regional Transit Service																											
8203 Regional Transit Service																											
9101 Decker Lake Street Lighting																											
9102 Condoak Street Lighting																											
9103 Fl. Fraser Street Lighting																											
9104 Geow Island Street Lighting																											
9105 Colony Point Street Lighting																											
9107 Ladlaw Street Lighting																											
10101 Bulkley Valley Regional Pool and Rec. Centre																											
10102 Vanderhoof Pool																											
10201 Ft. St. James Arena Grant																											
10202 Burns Lake Arena																											
10301 Smithers Rural Recreation/Culture																											
10302 Vanderhoof Recreation & Culture																											
10303 Lakes District Recreation and Culture																											
10401 Ft. Fraser Cemetery Grant																											
10402 Topley Cemetery Grant																											
10501 Smithers, Telkwa, Houston TV Rebroadcast																											
10502 Fraser Lake and Area TV Rebroadcasting																											
10503 Ft. St. James and Area TV Rebroadcasting																											
10504 Burns Lake and Area TV Rebroadcasting																											
10602 Fraser Lake Rural Library Grant																											
10603 Fort St. James Library																											
10801 Fort Fraser Community Hall																											
10802 Braeside Community Hall																											
10902 Bulkley Valley Trails																											
10903 Houston Trails																											
10904 Lakes Trails																											
10905 Fort St. James Trails																											
Total for all Departments	823.037	823.037	823.037	823.037	823.037	3,281,136	846,000	750,000	710,000	470,000	1,164,185	1,164,185	1,164,185	1,164,185	1,164,185	19,887,509	16,704,246	16,930,778	17,112,194	17,360,072	13,187	24,869,024	19,536,468	19,668,000	19,809,416	19,817,284	

Regional District of Bulkley-Nechako

2022 to 2026 Financial Plan - Bylaw No. 1971 Year One (2022) Summary
2022 Financial Plan:

Schedule "A"

Service	FUNDING						Reserve Funds	TRANSFERS From/(To) Equity in			EXPENDITURES:				Deficit from Prior Year	Total Expenditures
	Prop. Value Taxes	Parcel Taxes	Fees and Charges	Proceeds of Borrowing	Other Revenue	Total Funding		Surplus of	Totals	Transfers	Debt Pmts. Int. & P'pal.	Capital Expenditures	Amortization of TCAs	Other Expenses		
1101 Rural Government Services	339,002				985,256	1,324,257	(109,563)			(109,563)				1,214,694		1,214,694
1131 Area "A" Grant in Aid	10,000					10,000		25,823	25,823				35,823		35,823	
1132 Area "B" Grant in Aid	0					0		28,311	28,311				28,311		28,311	
1133 Area "C" Grant in Aid	33,984					33,984		(2,059)	(2,059)				31,925		31,925	
1134 Area "D" Grant in Aid	0				0	0		35,653	35,653				35,653		35,653	
1135 Area "E" Grant in Aid	0				0	0		40,641	40,641				40,641		40,641	
1136 Area "F" Grant in Aid	41,887					41,887		13,185	13,185				55,072		55,072	
1137 Area "G" Grant in Aid	0					0		13,314	13,314				13,314		13,314	
1200 General Government Services	801,546				1,798,203	2,599,748	(35,000)	134,000	80,000	179,000	0	50,000	80,000	2,648,748		2,778,748
1200 Nachako Watershed/Fraser Basin Council	3,950				741	4,691		9,143	9,143				13,834		13,834	
1301 Feasibility Studies	0				0	0		47,462	47,462				47,462	0	47,462	
1501 Local Community of Fort Fraser	2,949				5,000	7,949		8,288	8,288				16,237		16,237	
1701 Chinook Community Forest	0				12,680	12,680		321	321				13,001	0	13,001	
2401 Area "A" Economic Development	0				0	0		24,500	24,500				24,500		24,500	
2402 Area "B" Economic Development	64,211				64,211	64,211		(349)	(349)				63,861		63,861	
2403 Area "C" Economic Development	0				0	0		0	0				0		0	
2404 Area "D" Economic Development	0				0	0		0	0				0		0	
2405 Area "E" Economic Development	1,989				2,184	4,173		11,077	11,077				15,250		15,250	
2406 Area "F" Economic Development	0				0	0		0	0				0		0	
2407 Area "G" Economic Development	0				0	0		0	0				0		0	
2500 Regional Economic Development	386,065				244,371	630,436		86,628	86,628				717,064		717,064	
3101 Member Fiscal Services	0				797,885	797,885		0	0		797,885		797,885		797,885	
4101 Planning	309,613		23,000		38,352	370,964		0	0				370,964		370,964	
4201 Building Inspection	210,980		125,000		202,566	538,546	0	12,485	12,485		0	12,485	538,546		551,031	
4301 Development Services	327,455		1,400		36,886	365,740		0	0				365,740		365,740	
4401 Building Numbering Extended Service	8,690				1,674	10,364	0	0	0				10,364		10,364	
4501 Unsanitary Premises Regulatory Control	29,120				3,326	32,447		0	0				32,447		32,447	
4601 Bylaw Enforcement	0				125,986	125,986	(10,500)	0	(10,500)		0	0	115,486		115,486	
5101 Environmental Services	4,066,712				1,664,494	5,731,206	0	1,500,000	700,000	2,200,000	0	2,286,000	700,000	4,945,206		7,931,206
5901 Invasive Plant Control	3,281				710	3,991	0	21,988	21,988				25,978		25,978	
5902 Lake Kathlyn Aquatic Weed Harvesting		8,238	694		0	8,932		583	583				9,515		9,515	
5903 Glacier Gulch Water Diversion		2,613	205		0	2,818		615	615				3,433		3,433	
6101 Ft. Fraser Sewer System	48,119		27,534		0	75,653	(82)	33,113	16,000	49,031	0	45,000	16,000	63,885	124,685	
6201 Ft. Fraser Water System	59,055		43,146		0	102,201	44,860	15,088	100,000	159,948	0	100,000	100,000	62,150	262,150	
6301 Cluculz Lake - Somerset Estates Sewer		8,500			0	8,500	(13,236)	15,386		2,150			10,650		10,650	
6401 Pump & Haul Sewer Disposal			500			500		0	0	0			500		500	
6402 Liquid Waste Disposal			5,000			5,000		4,959	4,959				9,959		9,959	
7101 Ft. Fraser Fire Protection	59,028		7,500		40,000	106,528	658,145	32,089	10,800	701,034	0	740,136	10,800	56,625	807,561	
7102 Southside Rural Fire Protection	56,500				0	56,500	0	3,398	18,000	21,398	0	18,000	59,898	0	77,898	
7103 Topley Rural Fire Protection	89,931				89,931	89,931	(4,800)	(1,196)	23,000	17,004	17,741	0	23,000	66,193	106,935	
7201 Burns Lake Rural Fire Protection	126,090				126,090	126,090	0	0	0	0	0		126,090	0	126,090	
7202 Ft.St.James Rural Fire Protection	116,107			0	116,107	116,107	0	0	0	0			115,804	304	116,107	
7203 Houston Rural Fire Protection	15,439				15,439	15,439	0	0	0	0			15,439	0	15,439	
7204 Luck Bay Rural fire Protection	41,464				41,464	41,464	(1,000)	0	9,300	8,300	6,385	0	9,300	34,079	49,764	
7205 Smithers Rural Fire Protection	212,857				212,857	212,857	0	0	0	0			212,857		212,857	
7206 Telkwa Rural Fire Protection	111,935				111,935	111,935	0	0	0	0			111,935	0	111,935	
7207 Vanderhoof Rural Fire Protection	40,064				40,064	40,064	0	0	0	0			40,064		40,064	
7208 Round Lake Fire Protection	11,349				11,349	11,349	10,000	(2,481)	600	8,119	1,025	10,000	600	5,361	2,481	19,467
7301 Cluculz Lake Emergency Response	23,377				0	23,377	0	0	0	0			23,377		23,377	
7501 9-1-1 Service	340,272		115,000		32,641	487,913	0	0	70,000	70,000	0	70,000	487,913		557,913	
7601 Emergency Preparedness Planning	397,594				1,254,130	1,651,724	(34,021)	34,021	4,000	4,000	0	4,000	1,651,724		1,655,724	
7701 Burns Lake & Area Victim Services	13,057				2,885	15,942		233	233				16,175		16,175	
7702 Smithers Victim Services	36,940				588	37,528		0	0	0			37,528		37,528	
8101 Lakes District Airport	80,084				27,648	107,733	(25,000)	35,895	0	10,895			118,628		118,628	
8202 FSJ Seniors Helping Seniors Transportation Se	42,845				800	43,645		0	0	0			43,645		43,645	
8203 Regional Transit Service	61,417		24,000		86,515	171,932	0	0	0	0			162,710	9,222	171,932	
9101 Deckar Lake Street Lighting		10,925	350			11,275		0	0	0			11,275		11,275	
9102 Endako Street Lighting	4,080		320			4,400		0	0	0			4,400		4,400	
9103 Ft. Fraser Street Lighting	9,860		490			10,350		0	0	0			10,350		10,350	
9104 Gerow Island Street Lighting	5,000					5,000		0	0	0			5,000		5,000	
9106 Colony Point Street Lighting	2,450					2,450		0	0	0			2,450		2,450	
9107 Laidlaw Street Lighting	1,411					1,411		0	0	0			1,175	236	1,411	
10101 Bulkley Valley Regional Pool and Rec. Centre	956,358				70,500	1,026,858	(200,600)	50,000	120,000	(30,600)	50,000	120,000	826,258		996,258	
10102 Vanderhoof Pool	316,526					316,526	(15,000)	0	0	(15,000)			301,526		301,526	
10201 Ft.St.James Arena Grant	38,063				38,063	38,063	0	0	0	0			38,063		38,063	
10202 Burns Lake Arena	203,468				750	204,218		0	0	0			203,000	1,218	204,218	
10301 Smithers Rural Recreation/Culture	389,606				389,606	389,606		0	0	0			389,606		389,606	
10302 Vanderhoof Recreation & Culture	97,425				97,425	97,425		0	0	0			97,425		97,425	
10303 Lakes District Recreation and Culture	259,140				101,241	360,380		33,000	33,000	33,000			393,380		393,380	
10401 Ft Fraser Cemetery Grant	2,210				40	2,250		0	0	0			2,250	0	2,250	
10402 Topley Cemetery Grant	1,750				1,750	1,750		0	0	0			1,750	0	1,750	
10501 Smithers, Telkwa, Houston TV Rebroadcast	60,298				602	60,900		0	0	0			60,900	0	60,900	
10502 Fraser Lake and Area TV Rebroadcasting	48,589				36,418	85,006		0	0	0			85,006	0	85,006	
10503 Ft. St. James and Area TV Rebroadcasting	164,062				2,802	166,864		0	0	0			166,864	0	166,864	
10504 Burns Lake and Area TV Rebroadcasting	24,504				8,496	33,000	0	0	0	0			33,000	0	33,000	
10602 Fraser Lake Rural Library Grant	18,202				20,046	38,248		0	0	0			38,248	0	38,248	
10603 Fort St. James Library	17,187				50	17,237		0	0	0			17,237	0	17,237	
10801 Fort Fraser Community Hall	2,657				93	2,750		0	0	0			2,750	0	2,750	
10802 Braeside Community Hall	5,000				5,000	5,000		0	0	0			5,000		5,000	
10902 Bulkley Valley Trails	177,530				9,000	186,530	1,465,940	0	0	1,465,940			1,652,470		1,652,470	
10903 Houston Trails	15,400				15,400	15,400		0	0	0			15,400		15,400	
10904 Lakes Trails	87,909				23,053	110,962	130,000	0	0	130,000			240,962		2	

REQUISITION AMOUNTS

	2022 Requisition	2021 Requisition	Changes from 2021 to 2022	Average 'House' 2021	Average 'House' 2022		Tax 2021	Tax 2022	
Municipalities									
District of Houston	414,195	403,337	2.7%	\$ 170,436	\$ 227,379	33%	\$ 169.31	\$ 194.47	15%
Town of Smithers	1,842,947	1,758,956	4.8%	\$ 349,592	\$ 420,210	20%	\$ 510.05	\$ 555.32	9%
Village of Burns Lake	394,350	387,210	1.8%	\$ 174,980	\$ 213,038	22%	\$ 331.99	\$ 363.45	9%
District of Fort St. James	387,441	435,744	-11.1%	\$ 169,382	\$ 186,659	10%	\$ 245.15	\$ 222.15	-9%
Village of Fraser Lake	173,030	189,884	-8.9%	\$ 130,348	\$ 156,392	20%	\$ 138.76	\$ 142.13	2%
Village of Granisle	19,784	19,468	1.6%	\$ 60,632	\$ 69,060	14%	\$ 56.86	\$ 56.40	-1%
Village of Telkwa	259,036	231,086	12.1%	\$ 316,723	\$ 397,487	26%	\$ 388.51	\$ 435.90	12%
District of Vanderhoof	704,589	724,058	-2.7%	\$ 242,913	\$ 304,856	26%	\$ 222.34	\$ 248.88	12%
	4,195,372	4,149,743	1.1%						
Electoral Areas									
Electoral Area "A"	1,626,836	1,459,548	11.5%	\$ 349,592	\$ 420,210	20%	\$ 517.79	\$ 564.65	9%
Electoral Area "B"	730,790	739,247	-1.1%	\$ 174,980	\$ 213,038	22%	\$ 387.99	\$ 420.80	8%
Electoral Area "C"	723,946	792,261	-8.6%	\$ 169,382	\$ 186,659	10%	\$ 212.75	\$ 204.92	-4%
Electoral Area "D"	435,177	372,344	16.9%	\$ 130,348	\$ 134,637	3%	\$ 154.67	\$ 152.43	-1%
Electoral Area "E"	475,600	371,831	27.9%	\$ 174,980	\$ 213,038	22%	\$ 234.57	\$ 315.55	35%
Electoral Area "F"	1,165,460	1,006,076	15.8%	\$ 242,913	\$ 304,856	26%	\$ 384.73	\$ 440.86	15%
Electoral Area "G"	280,606	183,261	53.1%	\$ 170,436	\$ 227,379	33%	\$ 166.15	\$ 232.83	40%
	5,438,415	4,924,568	10.4%						
Other Taxes									
Specified Areas	18,940	16,618							
Service Areas -Taxation on Land & Improvements	1,313,268	1,327,767							
Service Areas -Taxation on Improvements Only	264,903	273,206							
Defined Areas	210,980	260,876							
	1,808,091	1,878,467							
Parcel Taxes									
Parcel	30,276	19,831							
Frontage	107,174	108,943							
	137,450	128,773							
TOTAL REQUISITION	11,579,328	11,081,552	4.5%						

District of Houston

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	49,927	48,270
Regional Economic Development	24,047	27,741
Development Services	20,396	26,207
Waste Disposal	253,307	224,896
Television Rebroadcasting	7,100	8,599
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	15,319	15,391
	370,096	351,104
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	23,916	36,783
Regional Parks & Trails	9,531	4,513
	33,447	41,296
Taxation on Population		
Regional Public Transit	10,652	10,937
	10,652	10,937
Total	414,195	403,337

Town of Smithers

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	143,768	135,526
Regional Economic Development	69,247	77,888
Development Services	58,735	73,582
Waste Disposal	729,420	631,434
Smithers Victim Services	18,129	18,722
Bulkley Valley Regional Pool	589,426	604,007
Television Rebroadcasting	20,445	24,142
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	44,113	43,212
	1,673,283	1,608,513
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	55,592	81,782
Regional Parks & Trails	95,028	48,696
	150,620	130,478
Taxation on Population		
Regional Public Transit	19,044	19,965
	19,044	19,965
Total	1,842,947	1,758,956

Village of Burns Lake

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	23,830	22,474
Nechako Watershed/Fraser Basin Council	220	692
Regional Economic Development	11,478	12,916
Development Services	9,735	12,202
Waste Disposal	120,904	104,709
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	7,312	7,166
	173,479	160,159
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	11,517	17,870
Burns Lake & Area Victim Services	7,834	6,997
Lakes District Airport	22,981	25,297
Burns Lake Tom Forsyth Arena Grant	78,191	77,770
Lakes District Arts & Culture	64,952	77,663
Burns Lake & Area TV Rebroadcast	7,031	7,756
Regional Parks & Trails	22,034	7,110
	214,540	220,463
Taxation on Population		
Regional Public Transit	6,331	6,588
	6,331	6,588
Total	394,350	387,210

District of Fort St. James

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	33,561	38,484
Nechako Watershed/Fraser Basin Council	310	1,020
Regional Economic Development	16,165	22,117
Development Services	13,711	20,894
Waste Disposal	170,275	179,302
Fort St. James Seniors Helping Seniors	23,818	24,838
Television Rebroadcasting	96,437	101,734
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	10,298	12,271
	364,575	400,660
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	16,639	31,659
Regional Parks & Trails	5,090	2,208
	21,729	33,867
Taxation on Population		
Regional Public Transit	1,137	1,217
	1,137	1,217
Total	387,441	435,744

Village of Fraser Lake

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	19,628	21,448
Nechako Watershed/Fraser Basin Council	181	605
Regional Economic Development	9,454	12,327
Development Services	8,019	11,645
Waste Disposal	99,585	99,932
Television Rebroadcasting	16,095	14,322
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	6,023	6,839
	<u>158,985</u>	<u>167,118</u>
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	10,529	19,340
	<u>10,529</u>	<u>19,340</u>
Taxation on Population		
Regional Public Transit	3,516	3,426
	<u>3,516</u>	<u>3,426</u>
Total	<u>173,030</u>	<u>189,884</u>

Village of Granisle

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	2,497	2,451
Regional Economic Development	1,203	1,408
Development Services	1,020	1,331
Waste Disposal	12,670	11,418
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	766	781
	<u>18,156</u>	<u>17,389</u>
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	935	1,630
Regional Parks & Trails	477	231
	<u>1,412</u>	<u>1,861</u>
Taxation on Population		
Regional Public Transit	216	218
	<u>216</u>	<u>218</u>
Total	<u>19,784</u>	<u>19,468</u>

Village of Telkwa

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	24,351	20,888
Regional Economic Development	11,729	12,005
Development Services	9,948	11,341
Waste Disposal	123,548	97,321
Smithers Victim Services	3,071	2,886
Bulkley Valley Regional Pool	59,902	55,857
Houston/Smithers TV Rebroadcasting	3,463	3,721
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	7,472	6,660
Taxation on Improvements only:	243,484	210,679
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	10,829	15,470
	10,829	15,470
Taxation on Population		
Regional Public Transit	4,723	4,937
	4,723	4,937
Total	259,036	231,086

District of Vanderhoof

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	88,977	89,662
Nechako Watershed/Fraser Basin Council	820	2,681
Regional Economic Development	42,856	51,530
Development Services	36,350	48,681
Waste Disposal	451,431	417,753
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	27,301	28,589
Taxation on Improvements only:	647,735	638,896
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	41,056	68,725
	41,056	68,725
Taxation on Population		
Regional Public Transit	15,798	16,437
	15,798	16,437
Total	704,589	724,058

Electoral Area "A"**Taxation on Land & Improvements:**

Rural Government Services (1101)	101,955	78,065
Area A Grant in Aid (1131)	10,000	0
General Government (1201)	124,814	110,351
Regional Economic Development (2500)	60,117	63,421
Planning and Zoning (4101)	57,448	52,779
Development Services (4301)	50,990	59,914
Building Numbering (4401)	2,612	1,515
Unsightly Premises Regulatory Control (4501)	9,516	6,391
Waste Disposal (5101)	633,253	514,147
Weed Control (5901)	988	15,327
Emergency Preparedness Planning (7601)	119,577	131,301
Smithers Victim Services	15,739	15,244
Bulkley Valley Regional Pool and Rec Centre (1010)	307,030	295,089
	<u>1,494,040</u>	<u>1,343,544</u>

Taxation on Improvements Only:

Area "A" Economic Development (2401)	0	
9-1-1 Emergency Telephone. Response (7501)	50,295	76,200
Smithers Para-Transit (8201)	0	0
Regional Parks & Trails (10902)	82,501	39,804
	<u>132,796</u>	<u>116,004</u>

1,626,836	1,459,548
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ELECTORAL AREAS

2022	2021
Requisition	Requisition

Electoral Area "B"**Taxation on Land & Improvements:**

Rural Government Services (1101)	31,157	26,548
Area B Grant In Aid (1132)	0	0
General Government (1201)	38,142	37,528
Nechako Watershed/Fraser Basin Council (1206)	352	1,130
Regional Economic Development (2500)	18,371	21,568
Planning and Zoning (4101)	17,555	17,949
Development Services (4301)	15,582	20,375
Building Numbering (4401)	799	515
Unsightly Premises Regulatory Control (4501)	2,908	2,173
Waste Disposal (5101)	193,519	174,849
Weed Control (5901)	302	5,212
Emergency Preparedness Planning (7601)	36,542	44,652
	<u>355,229</u>	<u>352,500</u>

Taxation on Improvements Only:

Electoral Area 'B' Economic Development (2402)	64,211	63,418
9-1-1 Service (7501)	16,307	26,792
Burns Lake & Area Victim Services (7701)	2,611	2,332
Lakes District Airport (8101)	32,537	37,927
Burns Lake Tom Forsyth Arena Grant (10202)	110,711	116,597
Lakes District Arts & Culture (10303)	103,962	116,437
Burns Lake & Area TV Rebroadcast (10504)	9,956	11,628
Regional Parks & Trails (10904)	35,266	11,615
	<u>375,561</u>	<u>386,747</u>

730,790	739,247
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<u>ELECTORAL AREAS</u>	2022 Requisition	2021 Requisition
Electoral Area "C" 755		
Taxation on Land & Improvements:		
Rural Government Services (1101)	288	236
Area C Grant in Aid (1133)	176	0
General Government (1201)	353	334
Nechako Watershed/Fraser Basin Council (1206)	3	11
Regional Economic Development (2500)	170	192
Planning and Zoning (4101)	162	160
Development Services (4301)	144	181
Building Numbering (4401)	7	5
Unsightly Premises Regulatory Control (4501)	27	19
Waste Disposal (5101)	1,791	1,556
Weed Control (5901)	3	46
Emergency Preparedness Planning (7601)	338	397
Fort Saint James Library (10603)	89	75
	<u>3,552</u>	<u>3,213</u>
Taxation on Improvements Only:		
Area "C" Economic Development (2403)	0	0
9-1-1 Emergency Telephone. Response (7501)	70	116
Regional Parks & Trails (10905)	54	10
	<u>124</u>	<u>125</u>
	<u>3,676</u>	<u>3,338</u>

<u>ELECTORAL AREAS</u>	2022 Requisition	Requisition
Electoral Area "C" 756		
Taxation on Land & Improvements:		
Rural Government Services (1101)	55,245	53,576
Area C Grant in Aid (1133)	33,808	0
General Government (1201)	67,631	75,734
Nechako Watershed/Fraser Basin Council (1206)	624	2,126
Regional Economic Development (2500)	32,575	43,525
Planning and Zoning (4101)	31,128	36,222
Development Services (4301)	27,629	41,119
Building Numbering (4401)	1,416	1,040
Unsightly Premises Regulatory Control (4501)	5,157	4,386
Waste Disposal (5101)	343,133	352,856
Weed Control (5901)	535	10,519
Emergency Preparedness Planning (7601)	64,794	90,111
Fort Saint James Library (10603)	17,098	17,119
	<u>680,772</u>	<u>728,333</u>
Taxation on Improvements Only:		
Area "C" Economic Development (2403)	0	0
9-1-1 Emergency Telephone. Response (7501)	29,240	55,974
Regional Parks & Trails (10905)	10,258	4,616
	<u>39,498</u>	<u>60,590</u>
	720,270	788,923
	<u>723,946</u>	<u>792,261</u>

ELECTORAL AREAS**Electoral Area "D" 755****Taxation on Land & Improvements:**

	2022 Requisition	2021 Requisition
Rural Government Services (1101)	2,277	2,031
Area D Grant in Aid (1134)	0	0
General Government (1201)	2,787	2,870
Nechako Watershed/Fraser Basin Council (1206)	26	91
Regional Economic Development (2500)	1,342	1,650
Planning and Zoning (4101)	1,283	1,373
Development Services (4301)	1,139	1,558
Building Numbering (4401)	58	39
Unightly Premises Regulatory Control (4501)	213	166
Waste Disposal (5101)	14,142	13,374
Weed Control (5901)	22	399
Emergency Preparedness Planning (7601)	2,670	3,415
Television Rebroadcasting (10502)	2,286	1,917
	<u>28,245</u>	<u>28,884</u>

Taxation on Improvements Only:

Area "D" Economic Development (2404)	0	
9-1-1 Emergency Telephone. Response (7501)	722	1,127
Fraser Lake Library (10602) 755	852	780
	<u>1,574</u>	<u>1,907</u>

29,819**30,791****ELECTORAL AREAS****Electoral Area "D" 756****Taxation on Land & Improvements:**

	2022 Requisition	30791 Requisition
Rural Government Services (1101)	30,093	21,647
Area D Grant in Aid (1134)	0	0
General Government (1201)	36,840	30,600
Nechako Watershed/Fraser Basin Council (1206)	340	973
Regional Economic Development (2500)	17,744	17,586
Planning and Zoning (4101)	16,956	14,635
Development Services (4301)	15,050	16,614
Building Numbering (4401)	771	420
Unightly Premises Regulatory Control (4501)	2,809	1,772
Waste Disposal (5101)	186,912	142,569
Weed Control (5901)	291	4,250
Emergency Preparedness Planning (7601)	35,295	36,409
Television Rebroadcasting (10502)	30,208	20,433
	<u>373,309</u>	<u>307,908</u>

Taxation on Improvements Only:

Area "D" Economic Development (2404)	0	0
9-1-1 Emergency Telephone. Response (7501)	14,699	19,886
Fraser Lake Library (10602) 756	17,350	13,759
	<u>32,049</u>	<u>33,645</u>

405,358

341,553

435,177**372,344**

ELECTORAL AREAS

	2022 Requisition	2021 Requisition
Electoral Area "E"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	27,040	18,871
Area E Grant in Aid (1135)	0	0
General Government Services (1201)	33,103	26,675
Nechako Watershed/Fraser Basin Council (1206)	306	940
Regional Economic Development (2500)	15,944	15,331
Planning and Zoning (4101)	15,236	12,758
Development Services (4301)	13,523	14,483
Building Numbering (4401)	693	366
Waste Disposal (5101)	167,950	124,285
Weed Control (5901)	262	3,705
Emergency Prep Planning (7601)	31,714	31,740
	<hr/> 305,771	<hr/> 249,154
Taxation on Improvements Only:		
Area "E" Economic Development (2405)	1,989	
9-1-1 Emergency Telephone. Response (7501)	12,312	15,382
Burns Lake & Area Victim Services (7701)	2,611	2,332
Lakes District Airport (8101)	24,566	21,775
Lakes District Arts & Culture (10303)	90,226	66,848
Burns Lake & Area TV Rebroadcast (10504)	7,517	6,676
Regional Parks & Trails (10904)	30,608	9,664
	<hr/> 169,829	<hr/> 122,677
	<hr/>475,600	<hr/>371,831

ELECTORAL AREAS

	2022 Requisition	2021 Requisition
Electoral Area "F"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	67,869	49,026
Area F Grant in Aid (1136)	41,887	0
General Government (1201)	83,085	69,303
Nechako Watershed/Fraser Basin Council (1206)	767	2,153
Regional Economic Development (2500)	40,018	39,830
Planning and Zoning (4101)	38,240	33,146
Development Services (4301)	33,943	37,627
Building Numbering (4401)	1,740	951
Unightly Premises Regulatory Control (4501)	6,335	4,014
Waste Disposal (5101)	421,538	322,895
Weed Control (5901)	657	9,626
Emergency Preparedness Planning (7601)	79,599	82,460
	<hr/> 815,678	<hr/> 651,031
Taxation on Improvements Only:		
Area "F" Economic Development (2406)	0	0
9-1-1 Emergency Telephone. Response (7501)	33,256	43,702
Vanderhoof Pool (10102)	316,526	311,343
	<hr/> 349,782	<hr/> 355,045
	<hr/>1,165,460	<hr/>1,006,076

<u>ELECTORAL AREAS</u>	2022 Requisition	2021 Requisition
Electoral Area "G" 754		
Taxation on Land & Improvements:		
Rural Government Services (1101)	15,995	6,962
Area G Grant in Aid (1137)	0	
General Government (1201)	19,581	9,842
Regional Economic Development (2500)	9,431	5,656
Planning and Zoning (4101)	9,012	4,707
Development Services (4301)	8,000	5,343
Building Numbering (4401)	410	135
Unightly Premises Regulatory Control (4501)	1,493	570
Waste Disposal (5101)	99,348	45,854
Weed Control (5901)	155	1,367
Emergency Preparedness Planning (7601)	18,760	11,710
	<u>182,185</u>	<u>92,146</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	9,252	6,924
Regional Parks & Trails (10901)	3,738	1,235
	<u>12,990</u>	<u>8,159</u>
	<u>195,175</u>	<u>100,305</u>
 <u>ELECTORAL AREAS</u>		
	2022 Requisition	2021 Requisition
Electoral Area "G" 755		
Taxation on Land & Improvements:		
Rural Government Services (1101)	5,230	4,400
Area G Grant in Aid (1137)	0	0
General Government (1201)	6,402	6,219
Regional Economic Development (2500)	3,084	3,574
Planning and Zoning (4101)	2,947	2,975
Development Services (4301)	2,616	3,377
Building Numbering (4401)	134	85
Unightly Premises Regulatory Control (4501)	488	360
Waste Disposal (5101)	32,483	28,977
Weed Control (5901)	51	864
Emergency Preparedness Planning (7601)	6,134	7,400
	<u>59,569</u>	<u>58,231</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	2,339	3,740
Regional Parks & Trails (10901)	1,222	667
	<u>3,561</u>	<u>4,407</u>
	<u>63,130</u>	<u>62,638</u>
 <u>ELECTORAL AREAS</u>		
	2022 Requisition	2021 Requisition
Electoral Area "G" 756		
Taxation on Land & Improvements:		
Rural Government Services (1101)	1,852	1,442
Area G Grant in Aid (1137)	0	
General Government (1201)	2,268	2,038
Regional Economic Development (2500)	1,092	1,171
Planning and Zoning (4101)	1,044	975
Development Services (4301)	926	1,106
Building Numbering (4401)	47	28
Unightly Premises Regulatory Control (4501)	173	118
Waste Disposal (5101)	11,506	9,495
Weed Control (5901)	18	283
Emergency Preparedness Planning (7601)	2,173	2,425
	<u>21,099</u>	<u>19,080</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	769	1,051
Regional Parks & Trails (10901)	433	187
	<u>1,202</u>	<u>1,238</u>
	<u>22,301</u>	<u>20,318</u>
	<u>280,606</u>	<u>183,261</u>

RDBN - 2022 Budget
Projected Tax Rates for Regional Services
(excludes local services)

Schedule 1

Dept	Service	Taxation			Converted Assessments		Tax on a \$200,000 Residential Property					
		2021 Tax	2022 Tax	2021 vs 2020	2020 Revised Roll	2021 Completed Roll	Rural Taxpayers			Municipal Taxpayers		
							2021	2022	2021 vs 2022	2021	2022	2021 vs 2022
Region-Wide Services												
1201	General Govt - Legislative	379,328	438,094	58,766	665,932,511	777,499,445	11.39	11.27	(0.12)	11.39	11.27	(0.12)
1202	General Govt - Administration	356,368	363,452	7,083	665,932,511	777,499,445	10.70	9.35	(1.35)	10.70	9.35	(1.35)
	SUBTOTAL GENERAL ADMINISTRATION	735,696	801,546	65,850	665,932,511	777,499,445	22.10	20.62	(1.48)	22.10	20.62	(1.48)
2500	Regional Economic Development	431,437	386,065	(45,372)	665,932,511	777,499,445	12.96	9.93	(3.03)	12.96	9.93	(3.03)
4101	Electoral Area Planning	298,586	309,613	11,027	*	*	10.74	9.49	(1.25)	7.16	6.33	(0.83)
4301	Development Services	407,581	327,455	(80,126)	665,932,511	777,499,445	12.24	8.42	(3.82)	12.24	8.42	(3.82)
5000	Environmental Services	3,747,616	4,066,712	319,095	665,932,511	777,499,445	112.55	104.61	(7.94)	112.55	104.61	(7.94)
7501	9-1-1 Service	274,154	340,272	66,118	665,932,511	777,499,445	8.23	8.75	0.52	8.23	8.75	0.52
	Total Region-Wide Services	5,895,071	6,231,661	336,591	665,932,511	777,499,445	178.82	161.83	(16.99)	175.24	158.66	(16.58)
Regional Rural Services												
1101	Rural Govt - Legislative	159,467	177,125	17,658	336,396,732	402,556,715	9.48	8.80	(0.68)			
1102	Rural Govt - Administration	103,334	161,877	58,543	336,396,732	402,556,715	6.14	8.04	1.90			
	SUBTOTAL RURAL ADMINISTRATION	262,801	339,002	76,200	336,396,732	402,556,715	15.62	16.84	1.22			
4401	Building Numbering	5,100	8,690	3,589	336,396,732	402,556,715	0.30	0.43	0.13			
4501	Unightly Premises	19,970	29,120	9,150	308,659,403	402,556,715	1.29	1.45	0.15			
5901	Weed Control	51,598	3,281	(48,318)	336,396,732	402,556,715	3.07	0.16	(2.90)			
7601	Emergency Preparedness	442,020	397,594	(44,426)	336,396,732	402,556,715	26.28	19.75	(6.53)			
7602	Emergency Response		-	-	336,396,732	402,556,715	-	-	-			
	SUBTOTAL EMERGENCY SERVICES	442,020	397,594	(44,426)								
Service Areas												
4201	Building Inspection	260,876	210,980	(49,896)	211,526,150	252,168,347	24.67	16.73	(7.93)			
8203	Regional Public Transit	63,725	61,417	(2,308)	336,396,732	374,942,730				3.79	3.28	(0.51)
	SUBTOTAL SERVICE AREAS	324,600	272,397	(52,203)								
	Total Regional Rural Services	781,490	777,686	(3,804)			71.24	55.37	(15.86)			
	Total Service Areas	324,600	272,397	(52,203)								
	Total Combined Services	7,001,161	7,281,745	280,584			250.05	217.20	(32.86)	179.03	161.94	(17.09)

Major Services Requisition Change **4.01%**

Tax Rate \$\$/\$1000 Assessment	1.250	1.086	(0.164)	0.895	0.810	(0.085)
Tax amount increase for a \$200,000 Assessment	-\$	32.86	-13.1%	-\$	17.09	-9.5%
Tax amount increase for a NOW \$224,000 Assessment	-\$	6.79	-2.7%	\$	2.34	1.3%



Regional District of Bulkley-Nechako

To: Board of Directors
From: John Illes, Chief Financial Officer
Date: January 20, 2022
Re: 2022 Budget Update

Recommendation (All/Directors/Majority):

That the Board have staff proceed with the budget with the current operational and capital proposals and bring back the 2022 budget for first reading on January 27th.

Discussion:

Taxation Implications

Schedule one outline the taxation implications for the current proposal. Major budget taxation is proposed to increase by \$281,603 and this will result in a decrease in the **tax rate** for rural property owners of 13.1% and for municipal property owners of 9.5%. However, after adjusting for the 12.0% average market increase for all properties in the Regional District, the average rural property owner can expect a 2.7% tax decrease and the municipal property owner can expect a 1.3% tax increase.

As a result of the very large market increase in residential property values as compared to property values for commercial, industrial and utility properties, residential property owners can expect an increase in taxes greater than the average property owner.

Comparisons to previous years

With the implementation of new policies, comparisons to years prior to 2021 are difficult.

The appropriation of the surplus in 2020 allows an easier comparison to the 2021 budget.

One of the most important items in any budget is the tax each property owner is required to pay. In this memo, taxation is discussed in both terms of tax rate (or \$X.xx per \$1,000) and as a total tax load (or total amount of tax an average property owner pays).



One of the goals of this budget is to maintain the total amount of tax an average taxpayer pays if they had the same property as in 2021. This means that the tax rate must decrease by the amount of market change for the average property owner. The average market change in the Regional District is 15.32% and non-market change is 3.40% as listed on the Non-Market Change Comparison published by BC Assessment.

The Regional District utilizes weighting factors, set by the province for taxation. If you weight the market change it is 12.0% and the non-market change is 4.92%. The weighted non-market change is larger than in the non-weighted calculation because much of the construction activity was in utilities (pipeline construction) and commercial property development (largely industrial camps).

As the weighting factors cannot be changed by the Board (because they are set by the Province) the weighted average will be utilized in the analysis.

The important numbers to watch are the total taxation for region-wide services for 2022 as compared to 2021 and similarly for regional rural services. One important comparison between these two numbers is that the regional rural services' requisition is only 5% of the region-wide services requisition and so has a lesser effect (and only on rural taxpayers).

Changes due to the appropriation of surplus

This is the change because of not carrying forward surplus from previous years but rather moving the surplus into an operational reserve.

As operational reserves are still being tallied for the 2021-year end, a detailed report on operational reserves will be brought to the Board in May. At the end of 2020, the operational reserves were approximately \$2.2 Million. The goal is to have this reserve balance at approximately ½ of the annual total requisition (the total requisition this year is approximately \$11.8 million).

In this budget staff are recommending that in the general administration budget, \$25,000 be brought forward to fund Regional District grant-in-aid (carry forward from 2021) and \$45,000 be brought forward to fund the new Director's health and dental benefits.

In addition, staff are recommending to bring forward \$1,500,000 of surplus from 2021 in the Environmental Services budget. There was a surplus in 2021 in Environmental Services from increased revenue due to pipeline activity, a carry forward of unexpended funds on both operational and capital projects, and a greater than expected residential and commercial construction activity. The primary purpose of this latter recommendation is to manage the change in taxation. While the year-end for the Regional District is not yet complete a surplus for 2021 for Environmental Services is



expected to be over \$1.8 Million. Any funds that are not moved forward into 2022 will be moved either to operational, capital, or land-fill closure reserves for this department.

For Regional District's the surplus or reserves of one department cannot be used to fund the deficit or budget of another department except in very specific instances and those would require ministerial approval.

Impacts from non-market changes

Based on the 2021 tax requisition of \$ 5,895,071 for region-wide services and the weighted non-market change of 4.92%, the requisition for major services could be increased by approximately \$290,000 without impacting the average taxpayer's total property tax bill. The requisition increase for 2022 was designed to capture this amount.

Because most of the non-market increase is in the Electoral Areas, the electoral area jurisdictions will see a greater ability to increase taxes without impacting a rural taxpayers total property tax bill.

Impacts from market changes

The average single family residential home in the Regional District increased by 18.55% compared to the weighted average property increase of 12.0%. This implies that in 2022, similar to 2021, that the residential tax payer will take on a greater burden of the tax load (from industrial and commercial property owners). For example, residential dwellings on ARL land in Area A have a market increase of nearly 40%. These property owners will see their taxes increase by 28% as compared to the average property owner in the Regional District.

Budget Highlights

This draft of the budget includes a consumer price index wage, salary, and remuneration increase of 3.8%. As most of the Regional District's operational expenses are salary or remuneration related, on average taxation will increase by this amount for each of the major budgets. The final CPI percentage is expected to be released by Statistics Canada by January 21st. The general and rural budgets presented below are dominated by staff wages, benefits, training and development and travel costs and are difficult to change without impacting positions.

Capital items for the major services, except for Environmental Services, is limited to one vehicle with an estimated cost of \$50,000 (to replace a 2008 Escape) and is being completely funded from the administrative vehicle reserve.

General Budgets



The increase in the general and rural legislative budgets are a direct result of remuneration increases as well as an expected return to pre-covid level of travel for the Directors. There are some additional expenses included for the possibility of onboarding new directors after the 2022 election.

The general administration budget remains largely unchanged from 2021 as the salary increase for the administrative staff has been absorbed by the administrative cost recovery implemented in the beginning of 2021 and the extra salary budget allotted to this service for administrative change in 2021 (including the First Nations' Liaison Officer position). Similarly, the rural administrative budget has increased slightly due to the administrative cost recovery policy transferring a share of the general administrative budget to the rural taxpayers.

Both planning and development service budgets remain largely unchanged from previous years. There is a general decrease in these two budgets resulting from more staff time being allocated to the new Parks and Trails services.

To offset the decline in land line telephone subscription and the increase in cost as the service transfers to the new e911 protocols, taxation is increasing in the 911 service. The budget in 2022 is still being impacted this year from a revenue sharing error from the land line service provider.

Rural Only Budgets

Protective Services is seeing benefits from Provincial Grants that partially offset some of the salary cost associated with the program.

A drop in the rural weed control service is a result of some of the budget being transferred to Environmental Services and the new Parks and Trail Services as well as less operational costs in 2021.

Large Service Area Budgets

There is a decrease in the Building Inspection budget directly from the increase in construction. The bylaw permit fees collected in 2021 was \$138,000 up from \$83,000 in the previous year. While the overall budget increased by approximately 4%, this expected increase in revenue continuing into 2022 has resulted in a 20% decrease in taxation. This service includes only portions of the rural areas in the regional district.

As the BC Transit agreement continues under the same cost sharing formula, the taxation for the transit service remains largely unchanged. As this bylaw is a municipal only bylaw, the taxation increases for this service impacts only municipalities. A future memo will discuss this service in greater detail.



Environmental Services

This year the budget for environmental services has been updated to increase hours slightly in the Recycling Stations to match those in the transfer stations as well as to begin to standardize opening and closing times amongst the different transfer stations.

Environmental Services Revenue

Exhibit A contains the 2022 budgeted revenue for the program. The level of taxation generally follows the increasing costs of industrial activities throughout the region over the last five years. Grants were often used to offset the capital costs of equipment, including the Northern Capital and Planning Grant in 2020 and 2021; however, no grants for capital equipment are expected in 2022.

Landfilling revenue has increased considerably in the last several years. Construction revenue and camp waste are expected to be maintained into 2022. Contaminated Soil revenue is estimated at \$200,000 for 2022 but in general is a risky revenue source to estimate as it is dependent on environmental clean up efforts.

Recycling revenue also continues to climb. The improvements to metal recycling leads the recycling revenue but large years are generally followed by lower revenue years as it takes time for metal levels to reach commercial recycling thresholds.

The large miscellaneous revenue in 2020 was mostly the result of one large federal government environmental remediation project and these costs may be considered a combination of demolition, contaminated soil and asbestos revenue.

As previously mentioned, \$1.50 million is proposed to be moved forward from 2021.

Environmental Services Capital Items

Capital items for Environmental Services are listed below:

Knockholt Landfill Phase Development	\$725,000
Safety, Security, and signage for all sites	\$145,000
Clearview capital maintenance	\$ 45,000
Burns Lake capital maintenance	\$ 85,000
Area D capital maintenance	\$ 40,000
Vanderhoof capital maintenance	\$110,000
Smithers capital maintenance	\$ 70,000
Fort St. James capital maintenance	\$135,000
Rolling Stock capital maintenance	\$260,000
Air curtain burner	\$100,000
New roll-off truck	\$165,000
New Excavator	\$100,000
Fleet and Small rolling stock (<\$100,000)	\$105,000



Garage “lean-to” for tractor trailers	\$200,000
Total	\$2,285,000

Knockholt landfill phase development is a critical and prioritized item for the Regional District and is discussed in previous Waste Management Committee memos.

Minor Service Budgets

Some budgets still require information from partnered municipalities or the partnering organization. These include many of the local fire services attached to the municipalities. The municipalities have a target of sending this information to the Regional District by the end of February. These budgets will be brought forward when information is available.

Draft Requisitions

This memo also includes draft requisitions for each taxing jurisdiction as well as an overall summary. Some Electoral Areas contain two or three jurisdictions but the summary includes the total of these jurisdictions. Jurisdictions are used by B. C. Assessment to estimate assessments based on area as well as each jurisdiction must be taxed separately by the Province.

The Requisitions include budgets that are not discussed specifically in this memo – they include services shared by only a few jurisdictions such as the Bulkley Valley Pool (previously discussed in December) or only by one jurisdiction such as Grant-in-Aid or Rural Economic Development for rural areas. The impact on minor budget changes in small services can often be more easily seen in requisition estimates than in other forms of budget presentations.

Similarly requisitions can more clearly show the shift in taxation do to pipeline construction for Electoral Areas E, F and G.

Attachments:

Draft Requisition overview
 Draft Requisition by Jurisdiction
 Major Services Budget Summary
 Environmental Services Income Summary

REQUISITION AMOUNTS

	2022 Requisition	2021 Requisition	Changes from 2021 to 2022	Average 'House' 2021	Average 'House' 2022		Tax 2021	Tax 2022		Total Weighted Expected
Municipalities										
District of Houston	414,285	403,337	2.7%	\$ 170,436	\$ 227,379	33%	\$ 169.31	\$ 194.51	15%	5.4%
Town of Smithers	1,843,258	1,758,956	4.8%	\$ 349,592	\$ 420,210	20%	\$ 510.05	\$ 555.42	9%	4.4%
Village of Burns Lake	394,919	387,210	2.0%	\$ 174,980	\$ 213,038	22%	\$ 331.99	\$ 363.97	10%	3.7%
District of Fort St. James	387,517	435,744	-11.1%	\$ 169,382	\$ 186,659	10%	\$ 245.15	\$ 222.19	-9%	2.3%
Village of Fraser Lake	173,082	189,884	-8.8%	\$ 130,348	\$ 156,392	20%	\$ 138.76	\$ 142.17	2%	1.9%
Village of Granisle	19,789	19,468	1.6%	\$ 60,632	\$ 69,060	14%	\$ 56.86	\$ 56.42	-1%	4.7%
Village of Telkwa	259,099	231,086	12.1%	\$ 316,723	\$ 397,487	26%	\$ 388.51	\$ 436.01	12%	7.1%
District of Vanderhoof	704,821	724,058	-2.7%	\$ 242,913	\$ 304,856	26%	\$ 222.34	\$ 248.96	12%	2.6%
	4,196,770	4,149,743	1.1%							
Electoral Areas										
Electoral Area "A"	1,647,004	1,459,548	12.8%	\$ 349,592	\$ 420,210	20%	\$ 517.79	\$ 571.65	10%	6.4%
Electoral Area "B"	731,675	739,247	-1.0%	\$ 174,980	\$ 213,038	22%	\$ 387.99	\$ 421.30	9%	3.1%
Electoral Area "C"	724,030	792,261	-8.6%	\$ 169,382	\$ 186,659	10%	\$ 212.75	\$ 204.94	-4%	1.3%
Electoral Area "D"	435,251	372,344	16.9%	\$ 130,348	\$ 134,637	3%	\$ 154.67	\$ 152.45	-1%	6.3%
Electoral Area "E"	476,372	371,831	28.1%	\$ 174,980	\$ 213,038	22%	\$ 234.57	\$ 316.06	35%	4.4%
Electoral Area "F"	1,165,614	1,006,076	15.9%	\$ 242,913	\$ 304,856	26%	\$ 384.73	\$ 440.92	15%	7.5%
Electoral Area "G"	280,633	183,261	53.1%	\$ 170,436	\$ 227,379	33%	\$ 166.15	\$ 232.85	40%	12.8%
	5,460,579	4,924,568	10.9%							4.92%
Other Taxes										
Specified Areas	18,940	16,618								
Service Areas -Taxation on Land & Improvements	1,312,559	1,327,767								
Service Areas -Taxation on Improvements Only	264,903	273,206								
Defined Areas	210,212	260,876								
	1,806,614	1,878,467								
Parcel Taxes										
Parcel	30,276	19,831								
Frontage	107,174	108,943								
	137,450	128,773								
TOTAL REQUISITION	11,601,413	11,081,552	4.7%							

District of Houston

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	49,536	48,270
Regional Economic Development	23,782	27,741
Development Services	20,329	26,207
Waste Disposal	254,210	224,896
Television Rebroadcasting	7,100	8,599
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	15,271	15,391
	370,228	351,104
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	23,927	36,783
Regional Parks & Trails	9,494	4,513
	33,421	41,296
Taxation on Population		
Regional Public Transit	10,636	10,937
	10,636	10,937
Total	414,285	403,337

Town of Smithers

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	142,643	135,526
Regional Economic Development	68,484	77,888
Development Services	58,542	73,582
Waste Disposal	732,021	631,434
Smithers Victim Services	18,129	18,722
Bulkley Valley Regional Pool	589,426	604,007
Television Rebroadcasting	20,445	24,142
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	43,973	43,212
	1,673,663	1,608,513
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	55,619	81,782
Regional Parks & Trails	94,960	48,696
	150,579	130,478
Taxation on Population		
Regional Public Transit	19,016	19,965
	19,016	19,965
Total	1,843,258	1,758,956

Village of Burns Lake

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	23,644	22,474
Nechako Watershed/Fraser Basin Council	220	692
Regional Economic Development	11,351	12,916
Development Services	9,703	12,202
Waste Disposal	121,336	104,709
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	7,289	7,166
	173,543	160,159
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	11,523	17,870
Burns Lake & Area Victim Services	7,834	6,997
Lakes District Airport	22,981	25,297
Burns Lake Tom Forsyth Arena Grant	78,191	77,770
Lakes District Arts & Culture	64,952	77,663
Burns Lake & Area TV Rebroadcast	7,031	7,756
Regional Parks & Trails	22,542	7,110
	215,054	220,463
Taxation on Population		
Regional Public Transit	6,322	6,588
	6,322	6,588
Total	394,919	387,210

District of Fort St. James

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	33,299	38,484
Nechako Watershed/Fraser Basin Council	310	1,020
Regional Economic Development	15,987	22,117
Development Services	13,666	20,894
Waste Disposal	170,883	179,302
Fort St. James Seniors Helping Seniors	23,818	24,838
Television Rebroadcasting	96,437	101,734
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	10,265	12,271
	364,665	400,660
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	16,646	31,659
Regional Parks & Trails	5,070	2,208
	21,716	33,867
Taxation on Population		
Regional Public Transit	1,136	1,217
	1,136	1,217
Total	387,517	435,744

Village of Fraser Lake

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	19,475	21,448
Nechako Watershed/Fraser Basin Council	181	605
Regional Economic Development	9,350	12,327
Development Services	7,992	11,645
Waste Disposal	99,940	99,932
Television Rebroadcasting	16,095	14,322
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	6,004	6,839
	<u>159,037</u>	<u>167,118</u>
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	10,534	19,340
	<u>10,534</u>	<u>19,340</u>
Taxation on Population		
Regional Public Transit	3,511	3,426
	<u>3,511</u>	<u>3,426</u>
Total	<u>173,082</u>	<u>189,884</u>

Village of Granisle

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	2,478	2,451
Regional Economic Development	1,190	1,408
Development Services	1,017	1,331
Waste Disposal	12,715	11,418
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	764	781
	<u>18,164</u>	<u>17,389</u>
Taxation on Improvements only:		
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	935	1,630
Regional Parks & Trails	475	231
	<u>1,410</u>	<u>1,861</u>
Taxation on Population		
Regional Public Transit	215	218
	<u>215</u>	<u>218</u>
Total	<u>19,789</u>	<u>19,468</u>

Village of Telkwa

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	24,161	20,888
Regional Economic Development	11,600	12,005
Development Services	9,915	11,341
Waste Disposal	123,989	97,321
Smithers Victim Services	3,071	2,886
Bulkley Valley Regional Pool	59,902	55,857
Houston/Smithers TV Rebroadcasting	3,463	3,721
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	7,448	6,660
Taxation on Improvements only:	243,549	210,679
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	10,834	15,470
	10,834	15,470
Taxation on Population		
Regional Public Transit	4,716	4,937
	4,716	4,937
Total	259,099	231,086

District of Vanderhoof

Taxation on Land & Improvements:	2022	2021
Revised 2020 Hospital Converted Total - 100%	Requisition	Requisition
General Government	88,281	89,662
Nechako Watershed/Fraser Basin Council	820	2,681
Regional Economic Development	42,384	51,530
Development Services	36,230	48,681
Waste Disposal	453,041	417,753
Revised 2020 Hospital Converted Total - 66%		
Planning and Zoning	27,215	28,589
Taxation on Improvements only:	647,971	638,896
Revised 2020 Hospital Converted Improvements- 100%		
9-1-1 Emergency Telephone Response	41,075	68,725
	41,075	68,725
Taxation on Population		
Regional Public Transit	15,775	16,437
	15,775	16,437
Total	704,821	724,058

	2022 Requisition	2021 Requisition
Electoral Area "A"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	101,955	78,065
Area A Grant in Aid (1131)	30,000	0
General Government (1201)	123,837	110,351
Regional Economic Development (2500)	59,454	63,421
Planning and Zoning (4101)	57,266	52,779
Development Services (4301)	50,822	59,914
Building Numbering (4401)	2,602	1,515
Unsanitary Premises Regulatory Control (4501)	9,487	6,391
Waste Disposal (5101)	635,511	514,147
Weed Control (5901)	988	15,327
Emergency Preparedness Planning (7601)	119,553	131,301
Smithers Victim Services	15,739	15,244
Bulkley Valley Regional Pool and Rec Centre (1010)	307,030	295,089
	<u>1,514,244</u>	<u>1,343,544</u>
Taxation on Improvements Only:		
Area "A" Economic Development (2401)	0	
9-1-1 Emergency Telephone. Response (7501)	50,318	76,200
Smithers Para-Transit (8201)	0	0
Regional Parks & Trails (10902)	82,442	39,804
	<u>132,760</u>	<u>116,004</u>
	<u>1,647,004</u>	<u>1,459,548</u>

<u>ELECTORAL AREAS</u>	2022 Requisition	2021 Requisition
Electoral Area "B"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	31,157	26,548
Area B Grant In Aid (1132)	0	0
General Government (1201)	37,844	37,528
Nechako Watershed/Fraser Basin Council (1206)	352	1,130
Regional Economic Development (2500)	18,169	21,568
Planning and Zoning (4101)	17,500	17,949
Development Services (4301)	15,531	20,375
Building Numbering (4401)	795	515
Unsanitary Premises Regulatory Control (4501)	2,899	2,173
Waste Disposal (5101)	194,209	174,849
Weed Control (5901)	302	5,212
Emergency Preparedness Planning (7601)	36,535	44,652
	<u>355,293</u>	<u>352,500</u>
Taxation on Improvements Only:		
Electoral Area 'B' Economic Development (2402)	64,211	63,418
9-1-1 Service (7501)	16,315	26,792
Burns Lake & Area Victim Services (7701)	2,611	2,332
Lakes District Airport (8101)	32,537	37,927
Burns Lake Tom Forsyth Arena Grant (10202)	110,711	116,597
Lakes District Arts & Culture (10303)	103,962	116,437
Burns Lake & Area TV Rebroadcast (10504)	9,956	11,628
Regional Parks & Trails (10904)	36,079	11,615
	<u>376,382</u>	<u>386,747</u>
	<u>731,675</u>	<u>739,247</u>

<u>ELECTORAL AREAS</u>	2022 Requisition	2021 Requisition
Electoral Area "C" 755		
Taxation on Land & Improvements:		
Rural Government Services (1101)	288	236
Area C Grant in Aid (1133)	176	0
General Government (1201)	350	334
Nechako Watershed/Fraser Basin Council (1206)	3	11
Regional Economic Development (2500)	168	192
Planning and Zoning (4101)	162	160
Development Services (4301)	144	181
Building Numbering (4401)	7	5
Unsightly Premises Regulatory Control (4501)	27	19
Waste Disposal (5101)	1,797	1,556
Weed Control (5901)	3	46
Emergency Preparedness Planning (7601)	338	397
Fort Saint James Library (10603)	89	75
	<u>3,553</u>	<u>3,213</u>
Taxation on Improvements Only:		
Area "C" Economic Development (2403)	0	0
9-1-1 Emergency Telephone. Response (7501)	70	116
Regional Parks & Trails (10905)	53	10
	<u>123</u>	<u>125</u>
	<u>3,676</u>	<u>3,338</u>
<u>ELECTORAL AREAS</u>		
Electoral Area "C" 756		
Taxation on Land & Improvements:		
Rural Government Services (1101)	55,245	53,576
Area C Grant in Aid (1133)	33,808	0
General Government (1201)	67,102	75,734
Nechako Watershed/Fraser Basin Council (1206)	624	2,126
Regional Economic Development (2500)	32,216	43,525
Planning and Zoning (4101)	31,029	36,222
Development Services (4301)	27,538	41,119
Building Numbering (4401)	1,410	1,040
Unsightly Premises Regulatory Control (4501)	5,141	4,386
Waste Disposal (5101)	344,357	352,856
Weed Control (5901)	535	10,519
Emergency Preparedness Planning (7601)	64,781	90,111
Fort Saint James Library (10603)	17,098	17,119
	<u>680,883</u>	<u>728,333</u>
Taxation on Improvements Only:		
Area "C" Economic Development (2403)	0	0
9-1-1 Emergency Telephone. Response (7501)	29,254	55,974
Regional Parks & Trails (10905)	10,217	4,616
	<u>39,471</u>	<u>60,590</u>
	<u>720,354</u>	<u>788,923</u>
	<u>724,030</u>	<u>792,261</u>

ELECTORAL AREAS**Electoral Area "D" 755****Taxation on Land & Improvements:**

	2022 Requisition	2021 Requisition
Rural Government Services (1101)	2,277	2,031
Area D Grant in Aid (1134)	0	0
General Government (1201)	2,765	2,870
Nechako Watershed/Fraser Basin Council (1206)	26	91
Regional Economic Development (2500)	1,328	1,650
Planning and Zoning (4101)	1,279	1,373
Development Services (4301)	1,135	1,558
Building Numbering (4401)	58	39
Unightly Premises Regulatory Control (4501)	212	166
Waste Disposal (5101)	14,192	13,374
Weed Control (5901)	22	399
Emergency Preparedness Planning (7601)	2,670	3,415
Television Rebroadcasting (10502)	2,286	1,917
	<u>28,250</u>	<u>28,884</u>

Taxation on Improvements Only:

Area "D" Economic Development (2404)	0	
9-1-1 Emergency Telephone. Response (7501)	722	1,127
Fraser Lake Library (10602) 755	852	780
	<u>1,574</u>	<u>1,907</u>

29,824	30,791
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ELECTORAL AREAS**Electoral Area "D" 756****Taxation on Land & Improvements:**

	2022 Requisition	30791 Requisition
Rural Government Services (1101)	30,093	21,647
Area D Grant in Aid (1134)	0	0
General Government (1201)	36,552	30,600
Nechako Watershed/Fraser Basin Council (1206)	340	973
Regional Economic Development (2500)	17,549	17,586
Planning and Zoning (4101)	16,902	14,635
Development Services (4301)	15,001	16,614
Building Numbering (4401)	768	420
Unightly Premises Regulatory Control (4501)	2,800	1,772
Waste Disposal (5101)	187,579	142,569
Weed Control (5901)	291	4,250
Emergency Preparedness Planning (7601)	35,287	36,409
Television Rebroadcasting (10502)	30,208	20,433
	<u>373,371</u>	<u>307,908</u>

Taxation on Improvements Only:

Area "D" Economic Development (2404)	0	0
9-1-1 Emergency Telephone. Response (7501)	14,706	19,886
Fraser Lake Library (10602) 756	17,350	13,759
	<u>32,056</u>	<u>33,645</u>

405,427	341,553
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435,251	372,344
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ELECTORAL AREAS

	2022 Requisition	2021 Requisition
Electoral Area "E"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	27,040	18,871
Area E Grant in Aid (1135)	0	0
General Government Services (1201)	32,844	26,675
Nechako Watershed/Fraser Basin Council (1206)	306	940
Regional Economic Development (2500)	15,768	15,331
Planning and Zoning (4101)	15,187	12,758
Development Services (4301)	13,479	14,483
Building Numbering (4401)	690	366
Waste Disposal (5101)	168,549	124,285
Weed Control (5901)	262	3,705
Emergency Prep Planning (7601)	31,707	31,740
	<hr/> 305,833	<hr/> 249,154
Taxation on Improvements Only:		
Area "E" Economic Development (2405)	1,989	
9-1-1 Emergency Telephone. Response (7501)	12,317	15,382
Burns Lake & Area Victim Services (7701)	2,611	2,332
Lakes District Airport (8101)	24,566	21,775
Lakes District Arts & Culture (10303)	90,226	66,848
Burns Lake & Area TV Rebroadcast (10504)	7,517	6,676
Regional Parks & Trails (10904)	31,313	9,664
	<hr/> 170,539	<hr/> 122,677
	<hr/>476,372	<hr/>371,831

ELECTORAL AREAS

	2022 Requisition	2021 Requisition
Electoral Area "F"		
Taxation on Land & Improvements:		
Rural Government Services (1101)	67,869	49,026
Area F Grant in Aid (1136)	41,887	0
General Government (1201)	82,435	69,303
Nechako Watershed/Fraser Basin Council (1206)	767	2,153
Regional Economic Development (2500)	39,577	39,830
Planning and Zoning (4101)	38,119	33,146
Development Services (4301)	33,831	37,627
Building Numbering (4401)	1,733	951
Unightly Premises Regulatory Control (4501)	6,316	4,014
Waste Disposal (5101)	423,042	322,895
Weed Control (5901)	657	9,626
Emergency Preparedness Planning (7601)	79,583	82,460
	<hr/> 815,816	<hr/> 651,031
Taxation on Improvements Only:		
Area "F" Economic Development (2406)	0	0
9-1-1 Emergency Telephone. Response (7501)	33,272	43,702
Vanderhoof Pool (10102)	316,526	311,343
	<hr/> 349,798	<hr/> 355,045
	<hr/>1,165,614	<hr/>1,006,076

<u>ELECTORAL AREAS</u>	2022 Requisition	2021 Requisition
Electoral Area "G" 754		
Taxation on Land & Improvements:		
Rural Government Services (1101)	15,995	6,962
Area G Grant in Aid (1137)	0	
General Government (1201)	19,428	9,842
Regional Economic Development (2500)	9,327	5,656
Planning and Zoning (4101)	8,984	4,707
Development Services (4301)	7,973	5,343
Building Numbering (4401)	408	135
Unightly Premises Regulatory Control (4501)	1,488	570
Waste Disposal (5101)	99,702	45,854
Weed Control (5901)	155	1,367
Emergency Preparedness Planning (7601)	18,756	11,710
	<u>182,216</u>	<u>92,146</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	9,256	6,924
Regional Parks & Trails (10901)	3,723	1,235
	<u>12,979</u>	<u>8,159</u>
	<u>195,195</u>	<u>100,305</u>
<u>ELECTORAL AREAS</u>		
	2022 Requisition	2021 Requisition
Electoral Area "G" 755		
Taxation on Land & Improvements:		
Rural Government Services (1101)	5,230	4,400
Area G Grant in Aid (1137)	0	0
General Government (1201)	6,352	6,219
Regional Economic Development (2500)	3,050	3,574
Planning and Zoning (4101)	2,937	2,975
Development Services (4301)	2,607	3,377
Building Numbering (4401)	134	85
Unightly Premises Regulatory Control (4501)	487	360
Waste Disposal (5101)	32,599	28,977
Weed Control (5901)	51	864
Emergency Preparedness Planning (7601)	6,133	7,400
	<u>59,579</u>	<u>58,231</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	2,340	3,740
Regional Parks & Trails (10901)	1,217	667
	<u>3,557</u>	<u>4,407</u>
	<u>63,136</u>	<u>62,638</u>
<u>ELECTORAL AREAS</u>		
	2022 Requisition	2021 Requisition
Electoral Area "G" 756		
Taxation on Land & Improvements:		
Rural Government Services (1101)	1,852	1,442
Area G Grant in Aid (1137)	0	
General Government (1201)	2,250	2,038
Regional Economic Development (2500)	1,080	1,171
Planning and Zoning (4101)	1,040	975
Development Services (4301)	923	1,106
Building Numbering (4401)	47	28
Unightly Premises Regulatory Control (4501)	172	118
Waste Disposal (5101)	11,547	9,495
Weed Control (5901)	18	283
Emergency Preparedness Planning (7601)	2,172	2,425
	<u>21,102</u>	<u>19,080</u>
Taxation on Improvements Only:		
Area "G" Economic Development (2407)	0	0
9-1-1 Emergency Telephone. Response (7501)	769	1,051
Regional Parks & Trails (10901)	431	187
	<u>1,200</u>	<u>1,238</u>
	<u>22,302</u>	<u>20,318</u>
	<u>280,633</u>	<u>183,261</u>

RDBN - 2022 Budget
Projected Tax Rates for Regional Services
(excludes local services)

Schedule 1

Dept	Service	Taxation			Converted Assessments		Tax on a \$200,000 Residential Property					
		2021 Tax	2022 Tax	2021 vs 2020	2020 Revised Roll	2021 Completed Roll	Rural Taxpayers			Municipal Taxpayers		
							2021	2022	2021 vs 2022	2021	2022	2021 vs 2022
Region-Wide Services												
1201	General Govt - Legislative	379,328	438,094	58,766	665,932,511	777,499,445	11.39	11.27	(0.12)	11.39	11.27	(0.12)
1202	General Govt - Administration	356,368	357,180	812	665,932,511	777,499,445	10.70	9.19	(1.51)	10.70	9.19	(1.51)
	SUBTOTAL GENERAL ADMINISTRATION	735,696	795,274	59,578	665,932,511	777,499,445	22.10	20.46	(1.64)	22.10	20.46	(1.64)
2500	Regional Economic Development	431,437	381,811	(49,626)	665,932,511	777,499,445	12.96	9.82	(3.14)	12.96	9.82	(3.14)
4101	Electoral Area Planning	298,586	308,632	10,047	*	*	10.74	9.46	(1.28)	7.16	6.31	(0.85)
4301	Development Services	407,581	326,376	(81,204)	665,932,511	777,499,445	12.24	8.40	(3.85)	12.24	8.40	(3.85)
5000	Environmental Services	3,747,616	4,081,216	333,600	665,932,511	777,499,445	112.55	104.98	(7.57)	112.55	104.98	(7.57)
7501	9-1-1 Service	274,154	340,433	66,278	665,932,511	777,499,445	8.23	8.76	0.52	8.23	8.76	0.52
	Total Region-Wide Services	5,895,071	6,233,743	338,672	665,932,511	777,499,445	178.82	161.87	(16.95)	175.24	158.72	(16.52)
Regional Rural Services												
1101	Rural Govt - Legislative	159,467	177,125	17,658	336,396,732	402,556,715	9.48	8.80	(0.68)			
1102	Rural Govt - Administration	103,334	161,877	58,543	336,396,732	402,556,715	6.14	8.04	1.90			
	SUBTOTAL RURAL ADMINISTRATION	262,801	339,002	76,200	336,396,732	402,556,715	15.62	16.84	1.22			
4401	Building Numbering	5,100	8,654	3,554	336,396,732	402,556,715	0.30	0.43	0.13			
4501	Unightly Premises	19,970	29,031	9,061	308,659,403	402,556,715	1.29	1.44	0.15			
5901	Weed Control	51,598	3,281	(48,318)	336,396,732	402,556,715	3.07	0.16	(2.90)			
7601	Emergency Preparedness	442,020	397,514	(44,506)	336,396,732	402,556,715	26.28	19.75	(6.53)			
7602	Emergency Response		-	-	336,396,732	402,556,715	-	-	-			
	SUBTOTAL EMERGENCY SERVICES	442,020	397,514	(44,506)								
Service Areas												
4201	Building Inspection	260,876	210,212	(50,664)	211,526,150	252,168,347	24.67	16.67	(7.99)			
8203	Regional Public Transit	63,725	61,328	(2,397)	336,396,732	374,942,730				3.79	3.27	(0.52)
	SUBTOTAL SERVICE AREAS	324,600	271,540	(53,061)								
	Total Regional Rural Services	781,490	777,481	(4,009)			71.24	55.30	(15.94)			
	Total Service Areas	324,600	271,540	(53,061)								
	Total Combined Services	7,001,161	7,282,764	281,603			250.05	217.17	(32.88)	179.03	161.99	(17.04)

Major Services Requisition Change

4.02%

Tax Rate \$\$/\$1000 Assessment	1.250	1.086	(0.164)	0.895	0.810	(0.085)
Tax amount increase for a \$200,000 Assessment	-\$ 32.88		-13.1%	-\$ 17.04		-9.5%
Tax amount increase for a NOW \$224,000 Assessment	-\$ 6.82		-2.7%	\$ 2.40		1.3%

Exhibit A
ENVIRONMENTAL SERVICES
ADMINISTRATION

(5101)**Five Year Financial Plan:**

	2018 Actual	2019 Actual	2020 Actual	2021 Actual	2022 Budget
REVENUE:					
Taxation + Service Agreement	2,527	12,328	2,464	10,977	2,500
TAXATION AND RESERVE REVENUE					
400004 Taxation	3,142,752	3,349,452	3,461,051	3,747,615	4,081,216
Investment Income	19,022	8,687	0		
420003 Transfer from Vehicle Reserve	68,101		0	37,097	
420001 Transfer From NCPG Reserve			811,463	62,950	
442101 Misc Grants		2,394,843	0	3,591	
420099 Transfer from Federal Gax Tax	28,909	31,471	30,306	27,000	
446001 Grants in Lieu of Taxes				36,643	25,000
446002 Grant in Lieu of Alcan Taxes	378,737	384,321	398,252	388,271	433,994
WASTE AND LANDFILLING REVENUE					
450007 Construction, Demolition & Landclearing Waste	209,944	287,424	151,559	171,309	150,000
450011 Camp Waste		4,247	143,547	549,825	400,000
450006 Contaminated Soils	3,155	447	296,458	406,484	200,000
450012 Cardboard				2,141	2,500
450007 Specified Risk Material Waste	185	0	0	419	1,000
450013 Unsegregated Loads			0	7,377	7,500
450014 Asbestos				11,716	5,000
RECYCLING REVENUE					
450003 Metal Recycling	223,594	37,553	26,342	403,907	200,000
450004 Paint & Solvent Recovery	8,380	8,871	9,684	2,194	2,000
450005 Major Appliance Recovery	26,521	26,976	35,601	6,477	5,000
450009 Battery Recovery	13,916	17,463	17,122	10,312	10,000
450010 Recycle BC - Top Up Revenue	13,696	25,851	36,640	38,895	35,000
452001 Recycling Revenue - Houston	1,862	451	0	3,170	2,500
452002 Recycling Revenue - Smithers/Telkwa	7,552	17,847	16,375	27,731	25,000
452003 Recycling Revenue - Vanderhoof	7,226	17,364	17,885	23,343	20,000
452004 Recycling Revenue - Fort St. James		5,734	6,986	14,148	12,500
452005 Recycling Revenue - Burns Lake		5,912	14,332	15,526	15,000
480001 Miscellaneous Revenue	49,048	76,148	1,026,213	188,261	75,000
Gain on Sale of Asset	32,751	1,660	0		
446110 Administrative Sewer/Water Recovery					35,000
Transfer from Equity in TCA	687,742	700,000	700,000		
Prior Year Surplus	1,171,797	700,235	691,697	1,665,687	1,500,000
TOTAL REVENUE:	6,097,417	8,115,283	7,893,977	7,852,089	7,245,711



REGIONAL DISTRICT OF BULKLEY-NECHAKO

MEMORANDUM

TO: Chair Thiessen and Board of Directors

FROM: Cheryl Anderson, Director of Corporate Services

DATE: January 27, 2022

SUBJECT: Cluculz Lake Fire Protection Service Reserve Bylaw No. 1967, 2021

RECOMMENDATION: (all/directors/majority)

That Cluculz Lake Fire Protection Service Reserve Bylaw No. 1967, 2021 be adopted this 27th day of January, 2022.

BACKGROUND

At the November 18, 2021 Board meeting, Cluculz Lake Fire Protection Service Reserve Bylaw No. 1967, 2021 was given first, second, and third reading. The Board may now adopt the bylaw.

Attachment
Bylaw No. 1967

REGIONAL DISTRICT OF BULKLEY-NECHAKO**BYLAW NO. 1967**

A bylaw to establish a Reserve for the Cluculz Lake Fire Protection Service

WHEREAS pursuant to the provisions of Section 374 of the *Local Government Act* and Section 188 of the *Community Charter*, the Board of the Regional District of Bulkley-Nechako may by bylaw establish a reserve fund;

AND WHEREAS the Board of the Regional District of Bulkley-Nechako has determined that a reserve for the Cluculz Lake Fire Protection Service be established;

NOW THEREFORE the Board of the Regional District of Bulkley-Nechako, in open meeting assembled enacts as follows:

1. There shall be and is hereby established a Capital and Planning Reserve Fund, under the provisions of Section 374 of the *Local Government Act* and Section 188 of the *Community Charter*, to be known as the "Cluculz Lake Fire Protection Service Reserve."
2. Money from the annual budget or as otherwise provided in the *Local Government Act* and the *Community Charter* may from time to time be paid into the Cluculz Lake Fire Protection Service Reserve.
3. This fund will be available for the purpose of Capital or Planning Projects under Bylaw No. 1127, a bylaw for the establishment of the Cluculz Lake Fire Protection Service.
4. This bylaw may be cited for all purposes as "Cluculz Lake Fire Protection Service Reserve Bylaw No. 1967, 2021."

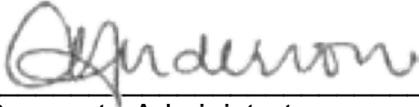
READ A FIRST TIME this 18th day of November, 2021

READ A SECOND TIME this 18th day of November, 2021

READ A THIRD TIME this 18th day of November, 2021

...2

I hereby certify that the foregoing is a true and correct copy of Bylaw No. 1967.



Corporate Administrator

ADOPTED this day of , 2022

Chairperson

Corporate Administrator

**REGIONAL DISTRICT OF BULKLEY-NECHAKO****MEMORANDUM**

TO: Chair Thiessen and Board of Directors

FROM: Cheryl Anderson, Director of Corporate Services

DATE: January 27, 2022

SUBJECT: Smithers Rural Recreation and Culture Service Area
Amendment Bylaw No. 1968, 2021

RECOMMENDATION: (all/directors/majority)

That Smithers Rural Recreation and Culture Service Area Amendment Bylaw No. 1968, 2021 be adopted this 27th day of January, 2022.

BACKGROUND

At the December 16, 2021 Board meeting, Smithers Rural Recreation and Culture Service Area Amendment Bylaw No. 1968, 2022 was given first, second, and third reading. The Board may now adopt the bylaw.

Attachment
Bylaw No. 1968

REGIONAL DISTRICT OF BULKLEY-NECHAKO**BYLAW NO. 1968****A bylaw to amend the boundaries of the Smithers
Rural Recreation and Culture Service Area
within a portion of Electoral Area "A"**

WHEREAS the Regional District of Bulkley-Nechako has adopted Smithers Rural Recreation and Culture Service Establishment Bylaw No. 886, 1995 establishing the Smithers Rural Recreation and Culture Service Area in a portion of Electoral Area "A";

AND WHEREAS the Regional District has received a request from the owners of THE NORTH WEST 1/4 OF FRACTIONAL SECTION 6 TOWNSHIP 4 RANGE 5 COAST DISTRICT EXCEPT THEREOUT A STRIP OF LAND BEING THE MOST SOUTHERLY 20 METRES IN PARALLEL WIDTH THEREOF, that this property be included in the Smithers Rural Recreation and Culture Service Area;

AND WHEREAS the Regional District has received a request from the owners of THE NORTH-EAST 1/4 OF SECTION 30 TOWNSHIP 4 RANGE 5 COAST DISTRICT EXCEPT PART INCLUDED ON PLAN ATTACHED TO 12995I AND EXCEPT PLANS 1928 1646 1860 3509 3954 4803 5294 8404 AND EPP74799, that this property be included in the Smithers Rural Recreation and Culture Service Area;

AND WHEREAS the Director of Electoral Area "A" has consented in writing to the adoption of this bylaw in accordance with Section 349 of the *Local Government Act*;

NOW THEREFORE the Regional Board of the Regional District of Bulkley-Nechako, in open meeting assembled enacts as follows:

1. That the Regional District of Bulkley-Nechako hereby amends the boundaries of the Smithers Rural Recreation and Culture Service Area by including the following properties:

THE NORTH WEST 1/4 OF FRACTIONAL SECTION 6 TOWNSHIP 4 RANGE 5 COAST DISTRICT EXCEPT THEREOUT A STRIP OF LAND BEING THE MOST SOUTHERLY 20 METRES IN PARALLEL WIDTH THEREOF

THE NORTH-EAST 1/4 OF SECTION 30 TOWNSHIP 4 RANGE 5
COAST DISTRICT EXCEPT PART INCLUDED ON PLAN ATTACHED
TO 12995I AND EXCEPT PLANS 1928 1646 1860 3509 3954 4803
5294 8404 AND EPP74799

- 2. The amended boundaries of the service area shall be a portion of Electoral Area "A" as shown outlined on the plan attached as Schedule "A" to this bylaw.
- 3. This bylaw may be cited as "Smithers Rural Recreation and Culture Service Area Amendment Bylaw No. 1968, 2021."

READ A FIRST TIME this 16th day of December, 2021

READ A SECOND TIME this 16th day of December, 2021

READ A THIRD TIME this 16th day of December, 2021

I hereby certify that the foregoing is a true and correct copy of Bylaw No. 1968.



 Corporate Administrator

CONSENT OF THE DIRECTOR OF ELECTORAL AREA "A" RECEIVED
this 20th day of December, 2021.

ADOPTED this day of , 2022

Chairperson

Corporate Administrator



Regional District of Bulkley-Nechako Memorandum

To: Chair Thiessen and Board of Directors
 From: Nellie Davis, Manager of Regional Economic Development
 Date: January 27, 2022
 Regarding: **Northern Development –
 Nechako Valley Sporting Association Application**

Recommendation:

That the Board supports the application to Northern Development Initiative Trust from the Nechako Valley Sporting Association for the Grooming Shed Project.

Background:

The Nechako Valley Sporting Association (NVSA) is submitting an application to the Northern Development Initiative Trust (NDIT) Recreation Infrastructure Program for its Grooming Shed Project.

The NVSA is requesting \$14,634 from NDIT to fund a new Grooming Shed. This project will provide much better working conditions for required maintenance and repairs, which will also result in better maintenance, lower repair costs and longer machine life. As part of the Grooming Equipment Asset Management Plan all future grooming costs per machine hour will be tracked to help determine the benefit of the new Grooming Shed and when to replace the grooming equipment.

Funding Organization	Amount	Status
NDIT	\$14,634.00	Pending
Nechako-Kitamaat Development Fund	\$4,000.00	Confirmed
RDBN Grant in Aid	\$5,000.00	Confirmed
Mt Milligan Legacy Program	\$5,000.00	Confirmed
Nechako Valley Sporting Association	\$2,000.00	Confirmed
Total	\$ 30,634.00	

A copy of the application with attachments will be available should Directors wish to review the information in greater detail.



Regional District of Bulkley-Nechako Memorandum

To: Chair Thiessen and Board of Directors
 From: Shari Janzen, Economic Development Assistant
 Date: January 27, 2022
 Regarding: **Northern Development Stuart Lake Nordic Society Application**

Recommendation:

That the Board supports the application to Northern Development Initiative Trust from the Stuart Lake Nordic Society for the Trail Groomer Project.

Background:

RDBN Grant Writing staff is supporting the Stuart Lake Nordic Society with an application to the Northern Development Initiative Trust (NDIT) Recreation Infrastructure Program for its Trail Groomer Project.

The SLNS is requesting \$12,694 from NDIT to fund a new trail groomer to maintain the Stuart Lake Nordic cross-country ski trails. This project includes the purchase of a new trail groomer along with attachments for the grooming of snow and track setting on the ski trails.

The SLNS's purpose is to provide access to well-maintained Nordic cross-country ski trails. This is an important asset to Fort St James and area, and an important component to the active lifestyle opportunities that carry such a high ranking in resident attraction and retention in Northern BC.

Funding Organization	Amount	Status
NDIT	\$12,694.00	Pending
Stuart Lake Nordic Society	\$6,288.00	Confirmed
Total	\$ 18,982.00	

A copy of the application with attachments will be available should Directors wish to review the information in greater detail.



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REGIONAL DISTRICT OF BULKLEY NECHAKO
STAFF REPORT

TO: Chair Thiessen and the Board of Directors
FROM: Deborah Jones-Middleton, Director of Protective Services
DATE: January 27, 2022
SUBJECT: Pre-Approval of the 2022 Fort Fraser Rural Fire Protection Service Budget to Purchase Two Fire Apparatus

RECOMMENDATION:

That the Board pre-approve the 2022 Fort Fraser Rural Fire Protection Service Budget to purchase two fire apparatus.

VOTING: All/Directors/Majority

Executive Summary:

At the January 13, 2022 Rural Director Committee the following motion was put forward:

“That the Committee recommend that the Board pre-approve \$740,000 in the 2022 Fort Fraser Local Fire Department Budget for the purchase of two fire apparatus for the Fort Fraser Fire Department.”

To purchase the two apparatus, one engine and one pumper/tender the following funds will be used:

Fort Fraser Fire Department Capital Reserve	\$121,131
Northern Capital and Planning Grant	186,595
Gas Tax	350,419
Grant from NKDF (if approved)	40,000
2022 Surplus	32,089
Taxation and service agreement	<u>9,766</u>
Total	<u><u>\$740,000</u></u>

Director Petersen is contributing \$50,000 of Electoral Area ‘F’ (Vanderhoof Rural) Gas Tax for the purchase of the Fort Fraser apparatus in exchange for the Fort Fraser Engine being transferred to the Cluculz Lake Fire Department. The current Cluculz Lake Fire Department apparatus is in poor repair and will be retired.



Deborah Jones-Middleton
 Director of Protective Services



**REGIONAL DISTRICT OF BULKLEY NECHAKO
STAFF REPORT**

TO: Chair Thiessen and the Board of Directors
FROM: Jason Blackwell, Regional Fire Chief
DATE: January 27, 2022
SUBJECT: Smithers Rural Fire Protection and Recreation and Culture Agreement – January 1, 2022 to December 31, 2026

RECOMMENDATION:

That the Board authorize the Board Chair and the Chief Administrative Officer to sign the Smithers Rural Fire Protection and Recreation and Culture Agreement for a 5-year term.

VOTING: All/Directors/Majority

EXECUTIVE SUMMARY

The agreement between the Regional District and the Town of Smithers to provide fire protection services and recreation and culture services to the Smithers Rural Fire Protection area in a portion of Electoral Area 'A' (Smithers Rural) expired on December 31, 2021. Staff have drafted a new 5-year agreement from January 1, 2022 to December 31, 2026.

The agreement is consistent with the previous agreement, except the Town of Smithers has agreed to establish and maintain a reserve fund pursuant to section 188 of the Community Charter for the purpose of funding capital expenditures by the Municipality for Fire Department purposes, and that any funds received for Fee for Service not expensed under the Fire Department budget will be deposited into the reserve. Further the Town of Smithers has agreed to report any additions, withdrawals, and the balance of the reserve fund by January 31st of each year.

The Town of Smithers Council has approved this agreement.

Written by,

A handwritten signature in cursive script, appearing to read "J Blackwell".

Jason Blackwell
Regional Fire Chief

Approved by,

A handwritten signature in cursive script, appearing to read "D Jones-Middleton".

Deborah Jones-Middleton
Director of Protective Services

Attachment: Smithers Rural Fire Protection and Recreation and Culture Agreement – January 1, 2022 to December 31, 2026

**SMITHERS RURAL FIRE PROTECTION
AND RECREATION AND CULTURE AGREEMENT**

THIS AGREEMENT IS DATED FOR REFERENCE THIS _DAY OF 2022.

BETWEEN:

THE REGIONAL DISTRICT OF BULKLEY-NECHAKO,

P.O. Box 820, Burns Lake,
British Columbia, VOJ 1E0
(hereinafter referred to as "Regional District")

OF THE FIRST PART

AND:

THE TOWN OF SMITHERS,

P.O. Box 879,
Smithers, British Columbia, VOJ 2N0
(hereinafter referred to as "Town")

OF THE SECOND PART

WHEREAS: a Regional District may, by bylaw establish and operate local services under Part 24 of the *Local Government Act*,

AND WHEREAS: The Regional District has established by Bylaw No. 884, 1995 as amended, a service of fire protection; and by Bylaw No 886, 1995 as amended, a service to contribute to Smithers recreation and culture; both in the same portion of Electoral Area "A";

AND WHEREAS: The parties wish to enter into a new agreement for the Town's provision of fire protection services in a portion of Electoral Area "A";

NOW THEREFORE THIS AGREEMENT WITNESSE that in consideration of the premises and of mutual covenants and agreements herein contained, the parties hereto covenant and agree each with the other as follows:

1. Fire Protection

- 1.1. The Town shall provide fire protection services for and to the residents of the Smithers Rural Fire Protection Service Area, (the Service Area) as shown on the map attached to and forming part of this Agreement as Appendix "A" in the same manner and to the same extent as is provided to the residents of the Town of Smithers, excepting that in the Service Area there will be no fire hydrants and the source of water shall be from a tanker truck or pumper/tanker truck. In the event that more than one fire occurs at the same time, the Town of Smithers Fire Chief or designate will determine how to best respond to each fire.
- 1.2. The Regional District, on behalf of the Service Area, shall pay to the Town the sum of \$4,506 annually for the life of this Agreement, as an annual charge for the use of the Town's existing Fire Hall.
- 1.3. The Regional District, on behalf of the Service Area, shall pay to the Town an annual sum in compensation for the net operating costs of the said service during the life of this Agreement as determined in Section 3 of this Agreement. Annual net operating costs do not include debt servicing costs of the Town.

- 1.4. The payments referred to in Sections 1.2 and 1.3 of this agreement are subject to the taxation limit in the Smithers Rural Fire Protection Local Service Establishment Bylaw No. 884, 1995, as amended from time to time.
- 1.5. The Town shall keep a record of fires within the Town of Smithers and the Service Area for the benefit and information of both the Town and the Regional District.
- 1.6. The Town of Smithers Fire Chief, or other officer, appointed by the Office of the Fire Commissioner as a Local Assistant to the Fire Commissioner (LAFC) shall also be appointed as the LAFC for the Service Area.

2. Recreation and Culture

- 2.1. The Regional District shall endeavor to take the steps necessary to make the boundaries of the Smithers Recreation and Culture Service Area the same as the boundaries of the Smithers Rural Fire Protection Service Area and both will be referred to hereinafter as the Service Area.
- 2.2. The Regional District, on behalf of the Service Area, shall pay to the Town an annual taxation grant towards the net operating costs of the Town's parks, arenas, and recreation administration and programs during the life of this Agreement as determined in Section 3 of this Agreement.
- 2.3. The Regional District, on behalf of the Service Area, shall pay to the Smithers Public Library, Bulkley Valley Historical and Museum Society, Smithers Gallery Association, and the Bulkley Valley Community Arts Council an annual taxation grant during the life of this Agreement as determined in Section 3 of this Agreement.
- 2.4. The payments referred to in Section 2.2 and 2.3 of this agreement are subject to the taxation limit in the Smithers Rural Recreation and Culture Local Service Establishment Bylaw No. 886, 1995, as amended from time to time.
- 2.5. The Town shall take the steps necessary to ensure that the residents in the Service Area are provided access to the aforesaid recreation and culture facilities and/or programs subject to the same user fees and restrictions as Town residents.

3. ESTABLISHMENT OF CAPITAL RESERVE FUND

- 3.1. The Municipality will cause the establishment and ongoing maintenance of a reserve fund pursuant to section 188 of the Community Charter for the purpose of funding capital expenditures by the Municipality for Fire Department purposes.
- 3.2. The Municipality may designate an amount of the fee for service described under section 5 for the purposes of depositing such funds into the reserve established under this section, which will be calculated as provided for under section 4.
- 3.3. Any funds allocated to the Fire Department which are not expended by the Municipality will be deposited into the reserve established under this section.
- 3.4. On or before January 31 of each year of the Term, the Municipality will report to

the Regional District the balance in the Reserve Fund and any additions or withdrawals from the Reserve Fund.

4. ANNUAL FEE FOR SERVICE

4.1. Fire Protection

The payments referred to in Section 1.2 and 1.3 of this Agreement are due and payable by the Regional District to the Town on or before August 10th of each year during the Term the Regional District shall pay a service fee to the Municipality (the "Service Fee") by calculating and paying to the Municipality the Regional District Share, as follows:

1. The parties shall determine the converted hospital assessment on improvements within the Town of Smithers, the Smithers Rural Fire Protection Service Area and both areas together;
2. The parties shall calculate the percentage of the converted hospital assessment on improvements within the Town of Smithers (the "Municipal Share") and the Smithers Rural Fire Protection Service Area (the "Regional District Share") respectively; and
3. The parties shall apply those percentages to:
 - a) the sum of the Town of Smithers Department budgeted expenses for the year including:
 - i. operating costs; ii) debt repayment costs (including principal and interest);
 - ii. any budgeted contribution to the Reserve Fund; and,
 - iii. other capital expenditures;
 - b) less
 - i. any amounts to be transferred or utilized from the Reserve Fund;
 - ii. any amounts to be transferred or utilized from a Regional District capital reserve fund for the purpose of the Services; and
 - iii. less any other source of funds received by the Municipality for the use of the Fire Department including but not limited to the payments for any fire protection agreements from industry or commercial enterprises and the Province of British Columbia ..

4.2. Recreation and Culture

4. The payments referred to in Section 2.2 of this Agreement are due and payable by the Regional District to the Town on the first day of August of each year during the life of this Agreement.
5. The payments referred to in Section 2.3 of this Agreement are due and payable as follows:
 - a) One-twelfth of the annual payment to the Smithers Public Library is due and payable on the last day of each calendar month during the life of this Agreement.

- b) The annual payments to each of the Bulkley Valley Historical and Museum Society and the Bulkley Valley Community Arts Council are due and payable on or before the tenth day of August of each year during the life of this Agreement.

5. Budget Process

- 5.1. The Electoral Area "A" Director of the Regional District shall be involved in the preparation of the Town's Annual Budget for the items identified in this Agreement.
- 5.2. The Town shall assure that the Regional District is furnished with its draft budget in time to be included in the Regional District's Annual Budget for the year, no later than February 15th of each year

6. Indemnification

- 6.1. The Town shall indemnify and save harmless the Regional District from any and all liability arising out of the provision of any of the services contemplated by this Agreement arising from or contributed to by the negligence of the Town, the Smithers Library, the Smithers Arts Council, the Bulkley Valley Museum, or any of their respective officers, employees, agents or contractors.
- 6.2. The Regional District shall indemnify and save harmless the Town from any and all liability arising out of the provision of any of the services contemplated by this Agreement arising from or contributed to by the negligence of the Regional District, its officers, employees, agents or contractors.

7. Term

- 7.1. This Agreement will be in effect from January 1, 2022 to December 31, 2026, unless otherwise terminated in accordance with this the early termination provisions contained herein.
- 7.2. The Town may terminate this Agreement, to take effect at the end of any calendar year, by giving not less than six months written notice to the Regional District where the approved rate of taxation by the Regional District on the Service Area will not be sufficient to pay its share of the costs as determined by this Agreement.
- 7.3. This Agreement may be terminated by either party for reason of undue hardship, to take effect at the end of any calendar year by giving at least 12 months written notice to the other party. If the parties cannot agree that an undue hardship has occurred, the dispute will be resolved in accordance with the Commercial Arbitration Act.

IN WITNESS THEREOF the said parties hereto have affixed their Seals.

SIGNED, SEALED, AND DELIVERED
on this ___ day of _____, 2022
by the Regional District of Bulkley-Nechako

Chair

Chief Administrative Officer

SIGNED, SEALED, AND DELIVERED
on this ___ day of _____, 2022
by the Town of Smithers

Mayor

Corporate Officer



REGIONAL DISTRICT OF BULKLEY NECHAKO STAFF REPORT

TO: Chair Thiessen and the Board of Directors
FROM: Jason Blackwell, Regional Fire Chief
DATE: January 27, 2022
SUBJECT: Sunset Beach Service Agreement

RECOMMENDATION:

That the Board authorize the Chair and the Corporate Officer to sign the Sunset Beach Service Agreement between the Regional District and the Nadleh Whut'en Band for an additional 5-year term expiring on December 31, 2026.

EXECUTIVE SUMMARY

The Sunset Beach Service Agreement between the Regional District and the Nadleh Whut'en Band expired on December 31, 2021. The Nadleh Whut'en Band have reviewed and signed the renewal.

The services provided by the agreement are as follows:

- Fire Protection
- Waste Disposal
- TV and Radio Rebroadcasting
- Fraser Lake Library
- Fort Fraser Cemetery
- Fort Fraser Community Hall
- 911 Emergency Telephone Response
- Weed Control

Written by,

Handwritten signature of Jason Blackwell in black ink.

Jason Blackwell
Regional Fire Chief

Handwritten signature of Deborah Jones-Middleton in black ink.

Deborah Jones-Middleton
Director of Protective Services

Attachment: Sunset Beach Service Agreement

Sunset Beach Service Agreement

THIS AGREEMENT made the 1 day of January, 2022

BETWEEN:

THE REGIONAL DISTRICT OF BULKLEY-NECHAKO
37 Third Avenue
Bums Lake, British Columbia V0J 1E0
(the "RDBN")

Of the First Part

AND:

THE NADLEH WHUT' EN BAND
P.O. Box 36
Fort Fraser, B.C. V0J 1N0
(the "NWB")

Of the Second Part

WHEREAS the Nautley Indian Reserve No. 1 (the "Reserve") is located within the RDBN

AND WHEREAS, within the Reserve there exists subdivision Plan 5134 of 48 leased lots and adjacent lands, commonly known as the Sunset Beach lease lots, upon which the NWB will levy taxation pursuant to section 83 of the *Indian Act*; (collectively described as the "Lands"), and which are outlined on the map attached as Schedule "A" which forms part of this Agreement;

AND WHEREAS the NWB is responsible for the administration and control of the Reserve and the Lands.

AND WHEREAS the RDBN and the NWB have reached an agreement whereby the NWB will pay the RDBN for providing fire protection and other services to the Lands as outlined in paragraph 1.1 of this Agreement.

AND WHEREAS, in agreeing to provide fire protection services to the Lands, the RDBN must have the authority to enforce all applicable and necessary fire prevention regulations and rules on the Lands, and the NWB has agreed to cooperate with the enforcement of those regulations and rules.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the mutual covenants and conditions herein contained, the parties covenant and agree with one another as follows:

1. SERVICES PROVIDED

- 1.1. The NWB agrees that the following services (the "Services") provided by the RDBN, benefit residents on the Lands:
 - a. Fort Fraser Fire Protection
 - b. Waste Disposal
 - c. TV and Radio Rebroadcasting
 - d. Fraser Lake Library
 - f. Fort Fraser Cemetery
 - g. Fort Fraser Community Hall
 - h. 9-1-1 Emergency Telephone Response
 - e. Weed Control

2. COMMENCEMENT

- 2.1. This Agreement commences on January 1, 2022 and shall be in force unless terminated in accordance with this Agreement until December 31, 2026.

3. COVENANTS OF THE RDBN

- 3.1. The RDBN shall provide the Services to residents of the Lands.
- 3.2. The Services provided by the RDBN shall meet the standards that the RDBN has set throughout the region.
- 3.3. The RDBN shall bill the NWB for the cost of the Services in accordance with the formula provided for in this Agreement. The billing shall be presented on an annual basis for the period January 1 to December 31 as soon as possible after the RDBN computes its tax requisition (on or around April 1 of each year).

4. COVENANTS OF THE NWB

- 4.1. The NWB appoints the Fort Fraser Fire Chief as its Fire Chief within the Lands.
- 4.2. The NWB agrees that through its administration and control of the Reserve that:
 - a) no person shall refuse to permit a member of the Fort Fraser Volunteer Fire Department to enter upon the Lands, or on any premises from which an alarm of fire has been received or in or upon which a member of the Fort Fraser Volunteer Fire Department has reasonable grounds to suspect that a fire exists;
 - b) no person shall refuse to give any information with respect to any fire to any member of the Fort Fraser Volunteer Fire Department or to any person acting with the authority of the Fire Chief;
 - c) no person shall impede or obstruct the extinguishing of any fire and any person who fails to comply with the order of direction of any member of the Fort Fraser Volunteer Fire Department engaged in or about to be engaged in the extinguishing of a fire may be removed forcibly from the scene of emergency or fire by a police officer or firefighter; and

- d) no person shall refuse to permit the Fire Chief to enter upon the Lands, or on any premises for the purposes at investigating the cause, origin or circumstance of a fire.
- 4.3. The NWB shall provide the RDBN annually (on or around April 1) a tax roll showing property owners, property classes, and taxable values of property within the Lands.
- 4.4. The NWB shall pay promptly upon receipt of the annual billing from the RDBN for the costs of the Services as calculated in accordance with this Agreement. The bill shall be paid no later than July 31st of the same year.

5. CALCULATION OF COST OF SERVICES

- 5.1. The cost of providing the Services to the Lands shall be calculated annually for the period of January 1st to December 31st and shall be computed using the RDBN's standard methodology as follows:
- 5.2. The cost for the services shall be the annual tax rates determined in the Regional District's Annual Tax Requisition (computed by dividing the amount of tax requisitioned into the converted assessment for the service and multiplied by standard Provincial Multipliers for non-residential classes of property) times the assessed values used by the NWB for its taxation of the Lands.

6. STANDARD OF FIRE PROTECTION SERVICES

- 6.1. The RDBN and the NWB acknowledge that the applicable sections of the British Columbia Fire Services Act and Regulations including the British Columbia Fire Code Regulations and the British Columbia Building Regulations apply within the Lands.
- 6.2. The NWB and the RDBN agree that the standard of fire protection services that the RDBN is providing to the Lands shall be the standard of services that is provided by the RDBN elsewhere in the Fort Fraser Fire Protection Local Service Area.
- 6.3. All equipment and personnel deployed by the RDBN in response to any fire alarm on the Lands shall be determined solely in the discretion of the officer in charge for the time being of the Fort Fraser Volunteer Fire Department.

7. TERMINATION

- 7.1. Either the First Nation or the RDBN may terminate this Agreement by giving the other twelve months written notice of its intention to terminate this Agreement. At the expiry of that period of notice, the Agreement shall be at an end.
- 7.2. The RDBN may also terminate this Agreement:
 - a) If conditions on the Lands exist which, in the opinion of the Fire Chief or a designated member of his staff are hazardous to the delivery or maintenance of fire protection services on the Lands and that those conditions are not rectified by the NWB within 30 days after receiving

- written notice of the hazards; or
- b) If the NWB defaults in the performance of any of its Covenants pursuant to this Agreement and that default is not rectified within 30 days after receiving written notice of such default, then the RDBN may in its sole and unqualified discretion forthwith cancel this Agreement by delivering to the NWB notice to that effect.
- 7.3. If this Agreement is canceled and payments are made by the NWB in advance, the RDBN will refund to the NWB the portion of the annual service cost of the Services for the period of the year January 1st to December 31st that they are no longer provided by the RDBN to the Lands.

8. INDEMNITIES

- 8.1. The RDBN shall indemnify and save harmless the NWB from any and all liability arising out of the provision by the RDBN of the services contemplated by this agreement arising from or contributed to by the negligence of the RDBN, its officers, employees, agents or contractors.
- 8.2. The NWB shall indemnify and save harmless the RDBN from any and all liability arising from the provision by the RDBN of the services contemplated by this agreement arising out of or contributed to by the negligence of the NWB, its officers, employees, agents or contractors.

9. NOTICES

- 9.1. Any notices required or permitted by this Agreement shall be deemed to have been received by the addressee if delivered to either the NWB or the RDBN or sent by registered mail at the following addresses:

NADLEH WHUT'EN BAND
P.O. Box 36
Fort Fraser, B.C. VOJ 1N0

REGIONAL DISTRICT OF BULKLEY-NECHAKO
37 Third Avenue
P.O. Box 820
Burns Lake, B.C. VOJ 1EO

10. AMENDMENTS

- 10.1. No change or modification of this Agreement is valid unless it is in writing and signed by the NWB and the RDBN.

11. ENTIRETY

- 11.1. This Agreement embodies the entire agreement between the NWB and the RDBN with respect to the matters dealt with in it and no understandings or agreements oral or otherwise exist between the NWB and the RDBN except as expressly set out in this Agreement.

12. TIME

12.1. Time is of the essence of this Agreement

13. ASSIGNMENT

13.1. The benefits of this Agreement are not assignable by the NWB.

14. BINDING EFFECT

14.1. This Agreement inures to the benefit of and is binding upon the NWB and the RDBN and their respective successors.

IN WITNESS WHEREOF the NWB and the RDBN have executed this Agreement on the day and year first written above.

SIGNED, SEALED AND DELIVERED)
by the RDBN of Bulkley-Nechako)
on the day of)
in the presence of:)

Witness Signature)

Witness Name)

Chair

Corporate Officer

SIGNED, SEALED AND DELIVERED)
by the Nadleh Whut'en Band)
on the day of)
in the presence of:)

Rosemary Da Silva

Witness Signature)

Rosemary Da Silva

Witness Name)

Long Nadi

Chief

Theresa Huot

Councillor

**REGIONAL DISTRICT OF BULKLEY-NECHAKO****MEMORANDUM**

TO: Chair Thiessen and Board of Directors

FROM: Wendy Wainwright, Executive Assistant

DATE: January 27, 2022

SUBJECT: Write a Letter to Recycle BC

RECOMMENDATION: (all/directors/majority)

That the Board ratify the letter written to Recycle BC regarding Recycle BC's Service Disruption.

BACKGROUND

At the January 13, 2022 Waste Management Committee discussion took place regarding supply chain issues and service disruptions at RDBN Recycling Depots and the impact to recycling in the region.

The Committee recommended that the Board write a letter to Recycle BC providing an outline of the current supply issues RDBN Recycling Depots are experiencing and what is required to address the issue; and further, that the letter be cc'd to Ministry of Environment and Climate Change Strategy, Green for Life Environmental Inc., John Rustad, MLA Nechako Lakes and Nathan Cullen, MLA Bulkley Stikine.

Attachment: Letter to Recycle BC Re: Recycle BC's Service Disruption



37, 3RD AVE PO Box 820
BURNS LAKE, BC
VOJ 1E0

REGIONAL DISTRICT
OF BULKLEY NECHAKO
"A WORLD OF OPPORTUNITIES WITHIN OUR REGION"

January 19, 2022

Jordan Best, Director, Collection
Recycle BC
405-221 West Esplanade
North Vancouver, BC V7M 3J3

jb主@recyclebc.ca

Dear Mr. Best,

RE: Recycle BC Service Disruption

The Regional District of Bulkley-Nechako (RDBN) Board of Directors has been made aware of issues and challenges in recent months with replenishing necessary supplies to the Recycle BC (RBC) Depots by the RDBN. It is understood that several factors have contributed to the supply challenges; however, there is growing concern amongst the Board of Directors and staff that RBC and their post-collection service providers are not effectively solving the supply issue.

RDBN Recycling Depots are taxation subsidized services for our residents, and any interruption to service is unacceptable as it may discourage our municipal and rural residents from recycling. The Board expects that the RDBN contracts with RBC for continuous service are fulfilled to prevent any further closures or disruption to our Recycling Depot services.

In recognizing the current challenges, the Board looks forward to a response in determining a solution to the supply issues.

Sincerely,

Gerry Thiessen, Chair

cc: The Honourable George Heyman, Minister of Environment and Climate Change Strategy
Nathan Cullen, MLA Stikine
John Rustad, MLA Nechako Lakes
Brendan McShane, Director, Collection, Recycle BC
Linda Park, Manager, Post Collection Services
Craig Bartlett, Executive Director – Recycle BC Post Collection Program, GFL Environmental Inc.
Todd Gillard, Director, Commodity Salwa & Procurement Western Canada, GFL Environmental Inc.

MUNICIPALITIES:

SMITHERS FT. ST. JAMES
VANDERHOOF FRASER LAKE
HOUSTON TELKWA
BURNS LAKE GRANISLE

ELECTORAL AREAS:

A-SMITHERS RURAL F-VANDERHOOF RURAL
B-BURNS LAKE RURAL E-FRANCOIS & COSTA LAKES
C-FORT ST. JAMES RURAL G-HOUSTON RURAL
D-FRASER LAKE RURAL



REGIONAL DISTRICT OF BULKLEY-NECHAKO

MEMORANDUM

TO: Chair Thiessen and Board of Directors

FROM: Taddea Kunkel, First Nations Liaison

DATE: January 27, 2022

SUBJECT: Truth and Reconciliation Calls to Action

RECOMMENDATION: (all/directors/majority)

To receive/discuss.

BACKGROUND

As part of the RDBN's efforts for creating space to discuss the Truth and Reconciliation Commissions' 94 Calls to Action and how to support local First Nations in their advocacy for reconciliation efforts in the region, staff has prepared this memo to discuss the Calls to Action that focus on the legacy of Residential Schools and justice.

The five Calls to Action brought forward in this report center around the need for changes within Canada's legal system. As tracked by the CBC News' Beyond 94, progress has been made on Calls 27, 28, and 29¹. Calls 27 and 28 focused on the need for legal professionals and law students to gain awareness and undertake training in cultural competency and Aboriginal Law. While Call 29 focused on the Residential School Settlement Agreement that allows for former students to file claims for compensation.

Call 30 stresses the need to correct the overrepresentation of Indigenous Peoples in our prison systems. In BC, Indigenous Peoples make up 5.9% of the adult population, yet they are 35% of the individuals in custody². The 2020 Correctional Investigator of Canada's news release of Dr. Ivan Zinger's findings³ flag the rising rate of Indigenous Peoples in federal custody. His findings notes that while only accounting for 5% of the general Canadian population, the custody rates for Indigenous Peoples have continued to accelerate as the overall inmate population has declined⁴. As part of his research, Dr. Zinger found that

¹ The CBC News' Beyond 94 monitors progress on the Truth and Reconciliation Commission's Calls to Action. The site provides up-to-date status reports on each Call, as well as extensive summaries explaining those status reports. <https://newsinteractives.cbc.ca/longform-single/beyond-94?cta=29>

² <https://www2.gov.bc.ca/gov/content/justice/criminal-justice/corrections/reducing-reoffending/indigenous>

³ <https://www.oci-bec.gc.ca/cnt/comm/press/press20200121-eng.aspx>

⁴ Ibid.

compared to their non-Indigenous counterparts that Indigenous inmates had longer sentences, were less likely to be granted parole, were disproportionately placed in maximum security institutions, were overrepresented in use of force and self-injuries incidents, and more likely to be held in solitary confinement units⁵.

Overrepresentation of Indigenous Peoples within the Canadian prison system was recognized as an important issue in the early 1990s. The 1991 Aboriginal Justice Strategy program (now the Indigenous Justice Strategy)⁶ and the 1999 Supreme Court of Canada's *Gladue* decision⁷ both have sought to remedy the overrepresentation of Indigenous Peoples in custody through incorporating restorative justice approaches as opposed to incarceration and taking into consideration systemic and background factors in judicial hearings. Despite the efforts of federally-funded programs and court decisions to reduce the overrepresentation of Indigenous Peoples in custody, the underlying and systemic cause of the problem – including poverty, unemployment, intergenerational trauma, mental health ailments⁸, and racial biases – have yet to be addressed and continue to perpetuate the problem. The CBC News' Beyond 94 notes many of those programs are replacing prior programs with the same mandates and funding levels⁹.

CALLS TO ACTION FOR DISCUSSION

Legacy of Residential Schools and Justice

26. We call upon the federal, provincial, and territorial governments to review and amend their respective statutes of limitations to ensure that they conform to the principle that governments and other entities cannot rely on limitation defences to defend legal actions of historical abuse brought by Aboriginal people.

27. We call upon the Federation of Law Societies of Canada to ensure that lawyers receive appropriate cultural competency training, which includes the history and legacy of residential schools, the *United Nations Declaration on the Rights of Indigenous Peoples*, Treaties and Aboriginal rights, Indigenous law, and Aboriginal–Crown relations. This will require skills-based training in intercultural competency, conflict resolution, human rights, and anti-racism.

28. We call upon law schools in Canada to require all law students to take a course in Aboriginal people and the law, which includes the history and legacy of residential schools, the *United Nations Declaration on the Rights of Indigenous Peoples*, Treaties and Aboriginal rights, Indigenous law, and Aboriginal–Crown relations. This will require skills-based training in intercultural competency, conflict resolution, human rights, and anti-racism.

⁵ Ibid.

⁶ Department of Justice Canada. "Evaluation of the Aboriginal Justice Strategy December 2016." Page i. <https://www.justice.gc.ca/eng/rp-pr/cp-pm/eval/rep-rap/2016/ajs-sja/ajs-sja.pdf>

⁷ <https://www.justice.gc.ca/eng/rp-pr/jr/gladue/p2.html>

⁸ Department of Justice Canada. "Evaluation of the Aboriginal Justice Strategy December 2016." Page 46. <https://www.justice.gc.ca/eng/rp-pr/cp-pm/eval/rep-rap/2016/ajs-sja/ajs-sja.pdf>

⁹ <https://newsinteractives.cbc.ca/longform-single/beyond-94?&cta=30>

29. We call upon the parties and, in particular, the federal government, to work collaboratively with plaintiffs not included in the Indian Residential Schools Settlement Agreement to have disputed legal issues determined expeditiously on an agreed set of facts.

30. We call upon federal, provincial, and territorial governments to commit to eliminating the overrepresentation of Aboriginal people in custody over the next decade, and to issue detailed annual reports that monitor and evaluate progress in doing so.



Regional District of Bulkley-Nechako Memorandum

To: Chair Thiessen and Board of Directors
From: Michelle Roberge, Regional Agriculture Coordinator, East
Date: January 27, 2022
Regarding: Growing Opportunities Newsletter Update

Recommendation:

Receipt.

Background:

Attached is Issue # 7 (January 2022) of the Growing Opportunities Newsletter for your receipt.

The Agriculture Coordinators encourage all Directors to subscribe to the newsletter.

The online subscription link is available on our website here:

<https://www.rdbn.bc.ca/departments/agriculture/growing-opportunities-rdbn-ag-newsletter>

GROWING OPPORTUNITIES

Bulkley-Nechako Agriculture Update



January 2022, Issue 7

WELCOME TO 2022

The Ag Team is busy working on the upcoming podcast series, organizing a Meat & Greet community-based meeting (read below for more details), updating to the Connecting Consumers & Producers on-line directory, advocating for more vets and veterinarian training, and more! There are so many aspects of the agricultural industry and community in the RDBN that there is never a shortage of work to be done. Remember you can reach out to us at any time with questions or concerns or ideas you have related to agriculture in the RDBN – we love hearing from you!

Plan your Marketing Strategy for 2022

January is a time for planning and looking at your farming year ahead (when to plant, harvest, newborns on the farm etc.). Don't forget to plan your **marketing strategy** too. Marketing is an important part of a successful, growing or established farming operation. The [RDBN Marketing Resources](#) web-page has a list of links, documents, and other resources that can help you develop a marketing to promote your operation and sell your products! Go to the [RDBN Marketing Resources](#) resources to help you make the most of 2022.

Producer Organization Spotlight

Young Agrarians

Are you considering retiring, downsizing, or taking a short-term break from the farm? In any of those cases, **Morgan Kitchen, the Central &**



Northern B.C. Land Matcher, can help you navigate how to keep your farm producing when you might not be the one doing the producing. The **B.C. Land Matching Program** through Young Agrarians provides personalized land matching and business support services to farmers looking for land to start or expand

someone to farm their land. The advantage of working with a Land Matcher is free hands-on support to understand regulations, evaluate opportunities, access

There is no cost to participate, and their services are available to farmers and landowners of all ages. Additionally, Young Agrarians offers on and off-farm educational events and mentorship opportunities. The [Young Agrarians website](#) has lots of information about the program, but feel free to connect with Morgan directly with your questions morgan@youngagrarians.org.

Snapshot Ag Updates

Vet Shortage Advocacy: Rural Agriculture Committee Chair Mark Parker, with support from staff, continues to speak with the Province about the urgency for increased access to veterinary training to bring in more vets to the region. Chair Parker will also be reaching out to local vets and educators to explore other ideas to support training.



Growing Opportunities Podcast Series: The Ag Team is working hard to put together their

with marketing basics to sell what you produce! Keep an ear and eye out on our Facebook page for the

Ground Water License – Deadline March 1st

The deadline to apply for groundwater license is fast approaching. **The deadline is March 1, 2022.**

Some important points to understand...

- This license is not the same as registering your well. You still need a license if you have a registered well.
- Applying for the license before the deadline will secure the historical water rights for your farm.
- The fees are waived for applying by the deadline.
- If you don't apply by the deadline, you will have to stop using groundwater or it will be considered illegal use after March 1, 2022.

To apply, or check on the status of your application contact FrontCounter BC at 1-877-855-3222 or frontcounterbc@gov.bc.ca. Also visit the [Groundwater License BC Government web-page](#).

Premise ID

If you are a livestock producer, having a Premise ID number for your farm is now mandatory. Go to [Premise ID](#) to register. Registration is simple, and the Premise ID is incredibly valuable to have, especially during an emergency so that agencies can support farmers more quickly and effectively.



Meat & Greet OPEN HOUSE

We are excited to announce that the RDBN will be hosting a free virtual Meat & Greet Open House! This Open House will bring together meat industry experts to talk about licensing for both slaughter and cut & wrap, accessing abattoir services, careers in meat-cutting, how to buy and support the meat industry, and more! There will be lots of time during the Open House for participants to ask questions. We hope that this event will provide valuable information for local meat producers, folks interested in careers in meat-cutting and the meat industry in general, and consumers who are curious about how to support the growth and sustainability of the local meat industry in the RDBN. Check the [RDBN website](#) and [Facebook](#) page for the

Please let us know what you'd like to see in the next Growing Opportunities eNewsletter!

Megan D'Arcy - (West - Areas A, B, E, G; Smithers, Telkwa, Houston, Granisle, Burns Lake, South Side)
250-692-0783 • megan.darcy@rdbn.bc.ca

Michelle Roberge - (East - Areas C, D, F; Vanderhoof, Fort St. James, Fort Fraser, Fraser Lake, Endako)
250-570-8772 • michelle.roberge@rdbn.bc.ca

Cleanfarms – Ag Plastic Recycling in the RDBN

Great job producers in the RDBN! Cleanfarms is very impressed with the uptake in the farm plastic recycling program within the RDBN. Here is another Cleanfarms opportunity that some of you may be interested in trialling on your farm.

MANAGING AGRICULTURAL PLASTICS WITH A MANUAL BALER - For farmers using high volumes of silage plastics in their operations, **plastics compactors** can be helpful for management and storage. One bale can hold up to 500 lbs of plastic, and these bales can be included as part of the ag plastics recycling program [Cleanfarms is running in the RDBN](#). Check out this [VIDEO](#) to learn how this compactor works. If you would be interested in

your operation, contact:

Carly Fraser at fraserc@cleanfarms.ca or 1-877-622-4460 ext. 2240 to discuss!





December 21, 2021

Gerry Thiessen, Chair
Regional District of Bulkley-Nechako
PO Box 820
Burns Lake BC V0J 1E0

Reference: 305268

Dear Chair Thiessen:

Re: UBCM Meeting 2021

Thank you for taking the time to meet with me virtually during the Union of British Columbia Municipalities (UBCM) Convention.

It was great to discuss with you the Northwest BC Resource Benefits Alliance, truck traffic, passing lanes on Highway 16 and Germansen Landing Road, also known as the North Road. Thank you, as well, for your letter of September 29, 2021, following up on our meeting.

It is a privilege to come together during the UBCM Convention to collectively envision how the challenges we face can be transformed into a resilient future for all British Columbians. The dedication and compassion local governments continue to demonstrate while protecting our communities and balancing diverse priorities is truly admirable.

As indicated during our meeting, a new passing lane is being constructed on Highway 16 at Broman Lake. Designs have been completed for additional passing lanes at Toboggan Lake and Cluculz Lake Hill. I understand ministry staff recently updated the Regional District on the status of work. If you have any questions, please do not hesitate to contact the ministry's local District Manager, Shaun Holahan, at 250 645-9668 or Shaun.Holahan@gov.bc.ca. We understand the importance of the North Road to industry and local communities and will continue to prioritise investment in this important road.

As we move forward as a province, our transportation network will play a vital role in supporting economic recovery and creating healthy, sustainable communities. Thanks to leaders like you, we can overcome any obstacle as we work together to create new opportunities for innovation and growth.

.../2

Thank you again for taking the time to meet.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rob Fleming". The signature is fluid and cursive, with the first name "Rob" being more prominent than the last name "Fleming".

Rob Fleming
Minister

Copy to: Kaye Krishna
Deputy Minister

Kevin Richter
Associate Deputy Minister

Shaun Holahan, District Manager
Fort George District



January 17, 2022

Jerry Peterson, Director
Electoral Area F (Vanderhoof Rural)
Regional District of Bulkley-Nechako
PO Box 820
37 3rd Avenue
Burns Lake BC V0J 1E0

Reference: 305981

Dear Jerry Peterson:

Re: Lloyd Drive Intersection

Thank you for your letter of October 15, 2021, sent on behalf of your community, regarding safety at the intersection of Lloyd Drive and Highway 16.

The ministry is committed to improving safety along Highway 16. You may be aware that improvements to the intersection of Lloyd Drive and Highway 16 are included in the scope of the Cluculz Lake Hill Passing Lane Project, which is in the design phase. The ministry continues to invest in the Highway 16 corridor, including the Broman Lake passing lane, located west of Burns Lake, which was completed this year.

Should you have any questions or would like to discuss this matter further, please do not hesitate to contact the ministry's local District Manager, Shaun Holahan. He can be reached at 250 645-9668 or Shaun.Holahan@gov.bc.ca and would be pleased to assist you.

Thank you again for taking the time to write.

Sincerely,



Rob Fleming
Minister

Copy to: Shaun Holahan, District Manager
Fort George District



January 7, 2022

Nellie Davis
 Manager of Regional Economic Development
 Bulkley-Nechako Regional District

Westcoast Connector Gas Transmission Project Certificate Condition Plans and Upcoming Engagement

About the Project

The British Columbia Environmental Assessment Office (BC EAO) issued an Environmental Assessment Certificate (Certificate) [#E14-05](#) for the Westcoast Connector Gas Transmission Project (WCGT Project) on November 25, 2014, and later granted a 5-year extension to the Certificate on April 25, 2019. Westcoast Connector Gas Transmission Ltd. (WCGT Ltd.), a wholly owned subsidiary of Enbridge Inc., has been working closely with potential terminal proponents on developing a liquified natural gas (LNG) project concept that would receive natural gas from the WCGT Project. As we continue to develop these opportunities, we are conducting the work required to apply for permits and Certificate amendments to ready the Project for potential construction.

Certificate Condition Plans

The Certificate granted for the WCGT Project is subject to 43 conditions (Conditions). Through engagement with Indigenous groups, relevant regulatory authorities and stakeholders, WCGT Ltd. would like to collaborate with you in the development of the Condition Plans (Plans), while simultaneously seeking input into draft mitigation measures to meet the Conditions. You are receiving this letter and accompanying information because you have been identified as a potentially impacted group with respect to the WCGT Project, and we would like to collaborate with you to strengthen the Plans as they are developed.

Details of the Conditions and the various plans to be developed can be [found here](#). Of the Conditions, 22 require resource-specific plans that will describe information on the protection measures that will be implemented to avoid or mitigate impacts of the WCGT Project.

While we are seeking review and input from any individual, group or organization with an interest in the Plans, WCGT Ltd. is required to consult with Regional Districts on the Certificate Conditions and Plans highlighted in bold below:

Condition 4: Greenhouse Gas Emissions Monitoring Plan	Condition 22: Access Management Plan
Condition 10: Freshwater Water Quality Monitoring Plan	Condition 24: Rare Plant and Community Survey and Mitigation
Condition 11: Metal Leaching / Acid Rock Drainage Management Plan	Condition 25: Restoration Plan
Condition 12: Wetlands Management Plan	Condition 28: Visual Quality Management Plan
Condition 13: Grizzly Bear Mitigation and Monitoring Plan	Condition 29: Old Growth Incursion and Recruitment Reports

Condition 15: Human Wildlife Conflict Plan
 Condition 16: Caribou Mitigation and Monitoring Plan

Condition 30: Timber Salvage Strategy

Condition 33: Social and Economic Effects Management Plan

Condition 19: Wildlife and Wildlife Habitat Management Plan

Condition 35: Construction Environmental Management Plan (Terrestrial)

An Approach to Drafting Condition Plans

Based on the scope of the Plans, we have divided them into two different groups: Terrestrial Plans and Marine Plans. Terrestrial Plans will include the protection measures to avoid or mitigate impacts as a result of the Project *on the land*. Marine Plans will include the protection measures to avoid or mitigate impacts as a result of the Project *in a marine environment*. WCGT Ltd. will first develop the Terrestrial Plans and then draft the Marine Plans approximately 10-12 months later, following a similar development process as the Terrestrial Plans. A proposed timeline is shown below for the Terrestrial Plans and when we will begin drafting the Marine Plans:



Proposed timelines for terrestrial condition plans. Timelines subject to change.

WCGT Ltd. has engaged Jacobs environmental services to support the WCGT Project team with the development of the Plans. At this time, WCGT Ltd. has prepared **detailed outlines** of the Terrestrial Plans and is seeking input on the detailed outlines until mid-February 2022. The objective of the detailed outlines is to share content and a preliminary approach to addressing the condition requirements, while continuing to learn and understand specific interests. Comments collected on the detailed outlines will support the development of the draft plans throughout 2022.

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 8320 89A Street
 Fort St. John, BC
 V1J 0P1

EMAIL
BCLNG@enbridge.com

VIRTUAL OPEN HOUSE
www.wcgtproject.com

MEDIA INQUIRIES
 1-888-992-0997
media@enbridge.com

Virtual Open House – Invitation to Review Detailed Outlines and Provide Comments

WCGT Ltd. has [launched a webpage](#) and virtual open house for the WCGT Project and Condition Plans. This site contains general WCGT Project information, information about our planned environmental and engineering investigative studies, and resources such as maps and factsheets.

A virtual open house can be accessed from this webpage. We invite you to visit the virtual open house to review the detailed outlines of the Plans. Here, you will find comment forms to provide your input into the initial detailed outlines. Please visit www.wcgtproject.com.

The virtual open house is a good place to start to familiarize yourself with the detailed outlines of the Plans. As we progress this work in 2022, it will be important to keep the lines of communication open and a member of our team will be following up with you to discuss your involvement on the development of the Plans throughout the year.

What's Next?

Throughout 2021, WCGT Ltd. conducted a detailed gap analysis of the studies completed during the original environmental assessment application to determine where additional studies are required to advance design of the WCGT Project. An environmental and engineering field work program is planned for 2022 to collect data across the certified Project corridor to inform the Condition Plans, potential mitigation, construction execution plans and detailed design of the route. Please review the Project update factsheet accompanying this letter and the webpage described above for more information.

We look forward to working with you. Please contact me at any time with questions you may have.

Graham Genge, Sr. Advisor, Community and Indigenous Engagement
Phone: (250) 641-8792
Graham.Genge@enbridge.com

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Westcoast Connector Gas Transmission Project Update

Fall 2021

The Westcoast Connector Gas Transmission Project (the Project) is a proposed, single-purpose express natural gas pipeline with the potential to service multiple downstream Liquefied Natural Gas (LNG) facilities on British Columbia's north coast. With this project, there is the potential to build two 48-inch pipelines within the same right-of-way, along with accompanying compressor stations. The Project would run from northeastern B.C. to the north coast, and is currently approved to include the flexibility to choose one of two routes to the Prince Rupert area – either through the Nass Valley (Nasoga Route) or north towards Kitsault (Kitsault Route).

The British Columbia Environmental Assessment Office (BC EAO) issued an Environmental Assessment Certificate (Certificate) for the Project on November 25, 2014, and later granted a 5-year extension to the Certificate on April 25, 2019.

Advancing the opportunity

Spectra Energy was the proponent who conducted the original Environmental Assessment. With the merger of Spectra Energy and Enbridge in 2017, Westcoast Connector Gas Transmission Ltd. (WCGT Ltd.) became an Enbridge company. We have been working closely with potential terminal proponents on developing a LNG project concept that would receive natural gas from the Project. While we continue to develop these opportunities, we are conducting the work required to apply for permits and Certificate amendments to ready the Project for potential construction. At this time, we do not have an update on timing or whether the Project will proceed to a final investment decision.

To advance our planning, WCGT Ltd. is engaging with local Indigenous groups, stakeholders and interested parties and reviewing the information gathered during the original environmental assessment. Further environmental investigative field work is required to support detailed route planning.

Environmental field work programs

This past summer, WCGT Ltd. began preparations to conduct geophysical studies to support planning and design of pipeline water crossings along the proposed route(s). In addition, WCGT Ltd. began a small environmental field work program, predominantly focused on the eastern extent of the proposed Project route, and included:

- Aquatics, including fish habitat assessments and fish inventory surveys
- Wetland and vegetation studies
- Remote sensing flight to capture high-resolution imagery along the entire proposed route

A larger environmental and engineering field work program is being planned for 2022 and will include:

- Archaeology Impact Assessment to build on previous archaeology work conducted within the current routing
- Wildlife studies
- Wetlands and vegetation studies
- Geophysical surveys
- Geotechnical investigations
- Other, as required



Westcoast Connector
Gas Transmission



Environment, Social and Governance Goals

Enbridge’s environmental, social and governance (ESG) goals represent the next stage of our evolution as an ESG leader to ensure we’re positioned to grow sustainably for decades to come.

Specifically on the environment, our goal is to achieve net zero greenhouse gas (GHG) emissions from our business by 2050 and reduce the intensity of GHG emissions from our operations by 35% by 2030. Our emission reduction targets include future projects we might develop, and anything we do will be assessed against our emission reduction commitments. To find out more about how we plan to meet these goals, please visit enbridge.com/esgoals.

Net zero emissions
by 2050

Reduce emissions intensity
35%
by 2030

Regulatory update

WCGT Ltd. will submit applications to amend its Certificate, including for route revisions. Following the completion of additional environmental field work, WCGT Ltd. will submit permit applications to various provincial and federal permitting agencies. Consultation with all potentially impacted parties is underway to ensure opportunities for input and participation in the design of the Project, including on the development of Condition Plans. These plans will be developed to meet conditions set out in the Certificate for the Project and to outline protection measures to avoid or mitigate potential impacts from the Project.

What’s next?

WCGT Ltd. will continue to engage with Indigenous groups, stakeholders and interested parties to discuss specific interests or concerns and to develop a path forward that incorporates local input and involvement in the Project. As plans progress for this work, it is important to keep the lines of communication open – please get in touch with us at any time.

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Media inquiries
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